



AGENDA PLANNING COMMISSION

March 31, 2025

at 7:00 p.m.

Stayton Library
515 N. First Avenue
Stayton, Oregon 97383

HYBRID MEETING

The Stayton Planning Commission will be holding a hybrid meeting utilizing Zoom video conferencing software. The meeting will be in-person but can also be attended virtually. If you would like to virtually participate in the meeting, please contact Pauly Norby at pnorby@staytonoregon.gov to receive an invitation to the online meeting.

1. CALL TO ORDER

2. MEETING MINUTES

- a. Approval of January 25, 2024, Minutes

3. PUBLIC HEARING

LAND USE FILE #17-12/24 - Application for Site Plan Review and Variances to expand an Orthopedic Clinic owned by Santiam Hospital by 820 square feet with variances to reduce vehicle, bicycle parking, and minimum landscaping requirements at 1377 N Tenth Avenue in a Commercial General (CG) zone

- a. Staff Introduction and Report
- b. Applicant Presentation
- c. Questions from the Commission
- d. Questions and Testimony from the Public
- e. Applicant Summary
- f. Staff Summary
- g. Close of Public Hearing
- h. Commission Deliberation
- i. Commission Decision

4. ADJOURN

The meeting location is accessible to people with disabilities. A request for an interpreter for the hearing impaired or other accommodations for persons with disabilities should be made at least 48 hours prior to the meeting. If you require special accommodation, contact the Community and Economic Development Department at (503) 769-2998.

City of Stayton

MEMORANDUM

TO: Chairperson Larry McKinley and Planning Commission Members
FROM: Jennifer Siciliano, Director of Community and Economic Development
DATE: March 24, 2025
SUBJECT: Site Plan Review and Variance Application of Orthopedic Clinic at Santiam Hospital, Paul Hartmann Director of Facilities for 1377 N Tenth Avenue
120 DAYS ENDS: July 2, 2025

ISSUE

The issue before the Planning Commission is a public hearing on an application for a Site Plan Review to add 820 square feet addition to the orthopedic clinic at the Santiam Hospital with variances for required off-street parking, bicycle parking and reduced landscaping.



BACKGROUND

Paul Hartmann, Director of Facilities at Santiam Hospital, has submitted a Site Plan Review and variance applications (LU #17-12/24) to expand the existing Orthopedic Clinic at 1377 N Tenth Avenue. This clinic is located on a separate parcel from the main Santiam Hospital campus, which is at 1369 N Tenth Avenue. The Orthopedic Clinic is zoned Commercial General (CG), while the hospital is in the Public/Semi-Public (P) zone. These zoning classifications have different requirements, and the two facilities serve different purposes—the clinic is designated for outpatient care, while the hospital falls under the hospital use category.

The applicant proposes an 820-square-foot addition to the northwest side of the Orthopedic Clinic to house an onsite X-ray facility. The proposal does not include additional vehicle or bicycle parking, landscaping, or stormwater drainage infrastructure on the clinic property. Instead, these requirements are proposed to be met on the adjacent Santiam Hospital parcel. Given this

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arrangement, multiple variances are necessary, and the project may be evaluated within the broader context of the Santiam Hospital campus.

For stormwater drainage, a retention pond owned by Santiam Hospital is located at the corner of N Tenth Avenue and E Santiam Street. A condition in the draft approval requires the applicant to submit stormwater drainage calculations as part of the Site Development Permit application. These calculations must be reviewed and approved by Stayton Public Works before moving forward.

Expanding the clinic by 820 square feet for outpatient care necessitates five (5) additional parking spaces. The zoning ordinance allows off-street parking on a separate parcel within 500 feet of the main orthopedic building. However, it must be ensured that the required parking for Santiam Hospital is not compromised. If the designated parking for the Orthopedic Clinic is farther than 500 feet from the building, a variance will be required.

Regarding bicycle parking, the zoning code requires that these spaces be located on the same parcel as the clinic. Since the applicant proposes placing them on the adjacent Santiam Hospital property, a variance is requested.

Both the Commercial General (CG) and Public/Semi-Public (P) zones require at least 15% of the site to be landscaped. It is unclear whether the Orthopedic Clinic parcel or the Santiam Hospital parcel currently meets this requirement. A condition in the draft approval requires the applicant to calculate the percentage of landscaped area for both sites. The Santiam Hospital property at 1369 N Tenth Avenue may have sufficient open space to satisfy the landscaping requirements for both parcels.

The draft order is structured so that if the required vehicle parking, bicycle parking, and landscaping cannot be accommodated while maintaining the minimum requirements for 1369 N Tenth Avenue, a modification to the site plan will be necessary.

ANALYSIS

This report and the draft order presents the Planning Staffs summary and analysis concerning this application. It was developed with the input of other City departments and agencies.

Attached is an application for site plan review and variance approval for the Orthopedic Clinic expansion for Santiam Hospital. The application consists of the application forms and narrative, and site and architectural plans. The complete application submission has been posted on the City's website.

The attached draft order provides findings and analysis of each approval criteria for Site Plan Review and Variances.

RECOMMENDATION

The staff recommends option one to approve the draft order as presented.

OPTIONS AND SUGGESTED MOTIONS

Staff has provided the Planning Commission with a number of options, each with an appropriate motion. The Planning Department recommends the fourth option until additional information is provided by city staff.

1. Approve the application, adopting the draft order as presented.

I move the Stayton Planning Commission approve the application for a Site Plan Review and Variances for the Orthopedic Clinic at Santiam Hospital, (Land Use File #17-12/24) and adopt the draft order presented by Staff.

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2. Approve the application, adopting modifications to the draft order.

I move the Stayton Planning Commission approve the application for a Site Plan Review and Variances for the Orthopedic Clinic at Santiam Hospital (Land Use File #17-12/24) and adopt the draft order with the following changes...

3. Deny the application, directing staff to modify the draft order.

I move the Stayton Planning Commission deny the application for a Site Plan Review and Variances for the Orthopedic Clinic at Santiam Hospital (Land Use File #17-12/24) and direct staff to modify the draft order to reflect the Planning Commission's discussion and bring a revised draft order for Planning Commission approval at the April 28, 2025, meeting.

4. Continue the hearing until April 28, 2025.

I move the Stayton Planning Commission continue the public hearing on the application for a Site Plan Review and Variances for the orthopedic clinic at Santiam Hospital (Land Use File #17-12/24) until April 28, 2025.

5. Close the hearing but keep the record open for submission of written testimony.

I move the Stayton Planning Commission close the hearing on the application for a Site Plan Review and Variances for the Orthopedic Clinic at Santiam Hospital (Land Use File #17-12/24) but maintain the record open to submissions by the applicant until April 7, allowing 7 days for review and rebuttal and then an additional 7 days for the applicant to reply, with final closure of the record on April 28, 2025.

6. Close the hearing and record, and continue the deliberation to the next meeting.

I move the Stayton Planning Commission to continue the deliberation on the application for a Site Plan Review and Variances for the orthopedic clinic at Santiam Hospital (Land Use File #17-12/24) until April 28, 2025.

BEFORE THE STAYTON PLANNING DEPARTMENT

In the matter of
The application of
Paul Hartmann, Santiam Hospital

) Site Plan Review and Variances
) File # 17-12/24
)

ORDER OF CONDITIONAL APPROVAL

I. NATURE OF APPLICATION

The application is for site plan review and variance approval to increase an Orthopedic Clinic by 820 square feet on the Santiam Hospital campus with variances to reduce required off-street parking, bicycle parking and landscaping.

II. FINDINGS OF FACT

A. GENERAL FINDINGS

1. The owner and applicant are Santiam Hospital, Paul Hartmann, Director of Facilities.
2. The property can be described on Marion County Assessors Map as 1377 N Tenth Avenue (tax lot 091W10AD01800).
3. The property is approximately .38 acres and is part of the Santiam Hospital campus.
4. The property is zoned Commercial General (CG).
5. The neighboring properties are all owned by Santiam Hospital. To the north, east, and south, the parcel that surrounds this parcel is Public/ Semi Public (P) zoned. The property to the west is Low Density Residential (LD) zone.

B. EXISTING CONDITIONS

The subject property is currently developed as an approximately 6,562 square foot orthopedic clinic with associated parking.

C. PROPOSAL

The proposal is to expand the orthopedic clinic by 820 square feet and requested variances for off-site parking, minimum landscaping and bike parking reduction.

D. AGENCY COMMENTS

The following agencies were notified of the proposal: City of Stayton Public Works, Marion County Public Works, WAVE Broadband, Stayton Cooperative Telephone Company, Pacific Power, Northwest Natural Gas, Santiam Water Control District, Stayton Fire District, Stayton Police Department, Salem Development Services, and Santiam Hospital.

Responses were received from Stayton Public Works, City of Stayton's Transportation Consultant, whose comments are reflected in the findings below.

E. ANALYSIS

Site plan review applications are required to satisfy approval criteria contained within Stayton Municipal Code (SMC) Title 17, Section 17.12.220 and Section 17.12.200.

F. APPROVAL CRITERIA

Pursuant to SMC 17.12.220.5 the following criteria must be demonstrated as being satisfied by the application:

- a. *The existence of, or ability to obtain, adequate utility systems (including water, sewer, surface water drainage, power, and communications), and connections, including easements, to properly serve development in accordance with City's Master Plans and Standard Specifications.*

Analysis: The current orthopedic clinic and proposed addition has access to water, sewer, power, and communications to the building. The applicant has not provided for surface stormwater facility onsite. The applicant proposed to use the retention pond located at the corner of N Tenth Avenue and E Santiam Street and to be offset by the demolition of the Santiam women's clinic which involves the removal of 980 square feet of impervious surface. Both these locations are owned by Santiam Hospital.

Finding: The applicant will need to supply additional information on their proposed stormwater facility. In accordance with Public Works Design Standards, stormwater shall be surface infiltrated onsite to the maximum extent feasible and design for additional stormwater drainage calculations shall be submitted to Stayton Public Works for review and approval.

Condition: This condition can be met by submitting, prior to Site Development Permit, a storm water drainage system in accordance with Stayton Public Works Design Standards with a design to be approved by Stayton Public Work Department.

- b. *Provisions for safe and efficient internal traffic circulation, including both pedestrian and motor vehicle traffic, and for safe access to the property from those public streets and roads which serve the property in accordance with the City's Transportation System Plan and Standard Specifications.*

Finding: The property is part of the Santiam Hospital campus and is connected to N Tenth Avenue through the parking drive and a sidewalk to the rest of the campus. To the west there is a gravel path that leads to the corner of E Hollister Street and N Seventh Avenue.

- c. *Provision of all necessary improvements to local streets and roads, including the dedication of additional right-of-way to the City and/or the actual improvement of traffic facilities to accommodate the additional traffic load generated by the proposed development of the site.*

Finding: According to the city's traffic engineer, the anticipated traffic generated by the clinic 820 square foot addition is well below the threshold to trigger a traffic impact study and the site is proposing access through existing full movement driveways on N 10th Avenue and Fir Street that meet the City code (17.26.020.3.h) required spacing.

- d. *Provision has been made for parking and loading facilities as required by Section 17.20.060.*

Finding: The proposed expansion includes an additional 820 square feet of outpatient care centers and medical offices, which require 5.5 parking spaces per 1,000 square feet of building space. To meet this requirement, five (5) additional parking spaces would be needed. However, the current building does not have sufficient parking for its designated use. The city has determined that only the new square footage requires additional

parking, yet no new spaces are being proposed. The applicant states that the Santiam Hospital campus has 184 existing parking stalls, including those adjacent to the Orthopedic Clinic. Additionally, the parcel lacks bicycle parking, though a building of this size requires six bicycle parking spaces. The applicant has requested a variance for both the vehicle and bicycle parking requirements.

Analysis: According to the applicant, the Santiam Hospital campus has 184 parking spaces, including those adjacent to the Orthopedic Clinic. Per Table 17.20.060.7.b, hospital parking requirements are calculated as two (2) spaces per 1,000 square feet of laboratory and outpatient care, plus 0.5 spaces per bed. However, the total square footage of laboratory and outpatient care within the Santiam Hospital parcel is unknown. A determination should be made regarding the total parking required for Santiam Hospital (taxlot 091W10AD00100 1369 N Tenth Avenue) to assess whether there is a surplus that could be allocated to the Orthopedic Clinic. If excess parking exists, a parking easement could be established to fulfill the five (5) required spaces for the Orthopedic Clinic.

Similarly, if Santiam Hospital has bicycle parking, it may be allocated to the Orthopedic Clinic through a bicycle parking easement to meet the six (6) required bicycle parking spaces. According to Table 17.20.060.9-A.1, hospitals are required to have one (1) bicycle parking space per 20 beds. Office uses require 1 space per 1,000 square feet.

Under current zoning, the applicant would be required to have the five (5) additional parking spaces either on the same lot or located within 500 feet of the main building.

Condition: This condition can be met if it is determined that the Santiam Hospital campus has a surplus of parking spaces beyond what is required for its existing laboratory, outpatient care, and bed count. If excess parking is identified, a formal parking easement can be established to allocate five (5) parking spaces to the Orthopedic Clinic. If it is over 500 feet from the Orthopedic Clinic, a variance approval by the Planning Commission would be necessary. Similarly, if the hospital has existing bicycle parking that meets or exceeds the required six (6) spaces, a bicycle parking easement can be secured to fulfill this requirement.

If no surplus exists, the applicant may need to propose alternative site plans for a modified Site Plan Review.

- e. *Open storage areas or outdoor storage yards shall meet the standards of Section 17.20.070*

Finding: No new open storage areas or outdoor storage are being proposed.

- f. *Site design shall minimize off site impacts of noise, odors, fumes or impacts.*

Finding: There will be no off-site noise, odor or fumes from the proposed development project.

- g. *The proposed improvements shall meet all applicable criteria of Section 17.20.200 Commercial Design Standards*

Analysis: The addition to the orthopedic clinic will match the existing building. The orthopedic will remain a single-story building. The addition will not change the entrance to the building, so it does not affect the orientation of the building. It will maintain its human scale.

Finding: The proposed addition to the orthopedic clinic meets the requirements of Commercial Design Standards SMC 17.20.200.

- h. (Repealed Ord. 913, September 2, 2009)*
- i. (Repealed Ord. 913, September 2, 2009)*
- j. Landscaping of the site shall prevent unnecessary destruction of major vegetation, preserve unique or unusual natural or historical features, provide for vegetative ground cover and dust control, present an attractive interface with adjacent land uses and be consistent with the requirements for landscaping and screening in Section 17.20.090.*

Finding: The total landscaped area within the parcel is unknown. The Commercial General (CG) zone requires that at least 15% of the site be landscaped, which may include grass. The proposed addition will reduce the existing pervious area, potentially impacting compliance with this requirement. It is also unknown how much of the Santiam Hospital campus is landscaped. Public/Semi Public (P) zone requires 15% landscaped area as well.

Analysis: A determination should be made regarding the total landscaped area for Santiam Hospital. If an excess of landscaped area is available, it may be used to fulfill the landscape requirements of the Orthopedic Clinic. The Santiam Hospital (taxlot 091W10AD00100 1369 N Tenth Avenue) parcel is 7.20 acres (313,632 square feet) and will require 47,045 acres of landscaped area. The Orthopedic Clinic is .38 acres (16,553 square feet) and will require 2,483 square feet of landscaped area. The applicant would need to obtain a variance to fulfill landscaping requirements on an adjacent parcel. Under zoning ordinance, it is required to have the minimum landscape percentage on the same parcel.

Condition: This condition can be met if it is determined that the Santiam Hospital campus has a surplus of landscaped area beyond what is required and that a variance be approved to allow for the minimum landscape percentage be fulfilled on an adjacent (tax lot 091W10AD00100 1369 N Tenth Avenue).

- k. The design of any visual, sound, or physical barriers around the property such as fences, walls, vegetative screening, or hedges, shall allow them to perform their intended function without undue adverse impact on existing land uses.*

Finding: No new visual, sound, or physical barriers are proposed for this site plan development.

- l. The lighting plan satisfies the requirements of Section 17.20.170.*

Finding: No additional lighting is proposed for this addition.

- m. The applicant has established continuing provisions for maintenance and upkeep of all improvements and facilities.*

Finding: Santiam Hospital Facility will be responsible for the upkeep and maintenance of the building and grounds.

- n. When any portion of an application is within 100 feet of the North Santiam River or Mill Creek or within 25 feet of Salem Ditch, the proposed project will not have an adverse impact on fish habitat.*

Findings: The proposed development site is not within 100 feet of the North Santiam

River or Mill Creek or within 25 feet of the Salem Ditch. This criterion is not applicable.

- o. Notwithstanding the above requirements the decision authority may approve a site plan for a property on the National Register of Historic Places that does not meet all of the development and improvement standards of Chapter 17.20 and the access spacing standards of Chapter 17.26 provided the decision authority finds that improvements proposed are in conformance with Secretary of the Interior's Standards for Treatment of Historic Properties, the site will provide safe ingress and egress to the public street system, and that adequate stormwater management will be provided.*

Finding: This criterion is not applicable since no building on the property is listed on the National Register of Historic Places.

Pursuant to SMC 17.12.200.6 the following criteria must be demonstrated as being satisfied by an application for a variance:

a. General Criteria Applicable to All Requests.

1. The granting of the variance would not be materially detrimental to the public health, safety, or welfare or the overall public interest of the citizens of the City as expressed within this title and the adopted Comprehensive Plan.

Finding: Granting the variances to reduce the required parking, bicycle parking spaces, and required landscaping will not materially be detrimental to the public health, safety or welfare of the City. Using the adjacent property and examining the Santiam Hospital campus more broadly, will provide necessary automobile and bicycle parking spaces and landscaping as required for the addition to the Orthopedic Clinic.

2. The granting of the application complies with the applicable specific approval criteria as follows:

b. Specific Variance Criteria

1. Variance to Land Use Regulations

a) The property is subject to exceptional or extraordinary circumstances such as lot size, shape, topography, or other similar circumstances over which the property owner has no control and which do not generally apply to other properties in the same zoning district and/or vicinity.

Finding: The property for infill development is unusual because it is bounded by the Santiam Hospital and a right-of-way. Other properties in the same zoning district generally do not have this limitation.

b.) The variance is necessary for the reasonable preservation of a property right of the applicant which is the same as that enjoyed by other landowners in the zoning district.

Finding: The variance for reduced automobile and bicycle parking, and landscaping is reasonable when it is being provided in the adjacent property also owned by the Santiam Hospital.

c.) The variance would conform to the purposes of the applicable zoning regulations and would not generate a significant adverse impact on the other property in the same zoning district or vicinity.

Finding: The purpose of the parking and landscaping requirements will be met through broad examination of the adjacent parcel, Santiam Hospital (taxlot 091W10AD00100 1369 N Tenth Avenue) parcel, and creating conformity within the whole hospital campus.

d.) Approval of the variance would not create an identifiable conflict with the provisions of the Comprehensive Plan or achieve the same conditions and a comprehensive plan amendment or zone change for the property.

Finding: There are no policies in the comprehensive plan that address number of vehicle parking spaces, or number of bicycle parking spaces or landscaping.

e.) The variance being requested is the minimum relief available to alleviate the difficulty giving rise to the application.

Finding: The reduction in automobile and bicycle parking and landscaping requirements on the parcel will be off-set by the same amount of automobile and bicycle parking and landscaping on an adjacent property, Santiam Hospital (taxlot 091W10AD00100 1369 N Tenth Avenue) parcel.

f.) The variance would not have the effect of granting a special privilege not generally shared by other property in the same zoning district.

Finding: The site is bounded by the Santiam Hospital and a right-of-way area. The development fully builds out the parcel and lacks undeveloped area to meet all development code landscaping standards and additional automobile and bike parking. This variance would not grant any special privileges.

g.) The request for the variance is not the result of an action taken by the applicant or a prior owner.

Finding: The request for variances is needed to meet commercial design and dimensional development standards for an infill redevelopment site surrounded by the Santiam Hospital campus.

III. CONCLUSION

Based on the facts above, the Planning Commission concludes that the application meets the requirements for Sections 17.12.200 Variances, 17.12.220 Site Plan Review, 17.20.060 Off-Street Parking and Loading, 17.20.090 Landscaping Requirements, and 17.20.200 Commercial Design Review, except for the following:

1. 17.20.060.7.b. This section requires that for every 1,000 square feet 5.5 vehicle parking space is required. This standard can be met with an approved variance to have the required parking on an adjacent parcel with corresponding parking easement.

2. 17.20.060.9-A.1 Bicycle Parking Requirements. This section requires that for every 1,000 square feet of office space, including doctors offices, one (1) bicycle parking space is required. This standard can be met with an approved variance to have the required bicycle parking on an adjacent parcel.
3. Table 17.20.090.2 Minimum Landscape Percentage. This section requires that 15% is the minimum area of a site to be retained in landscaping in a Commercial General (CG) zone. This standard can be met with an approved variance to have the required landscaping fulfilled on an adjacent parcel.

IV. ORDER

Based on the conclusions above, the Planning Commission approves the application for variances to allow a reduction of required five (5) automobile and six (6) bicycle parking and 15% landscaping onsite and fulfill these requirements on the adjoining property also owned by the Santiam Hospital, 1369 N Tenth Avenue. Further the Planning Commission approves the application for site plan review as shown on sheets G0.01, G1.01, G1.02, G1.11, G2.01, D1.01, D2.01, A1.01, A1.02, A1.03, A2.01, A2.02, A2.51, A3.01, A4.01, A4.02, A4.11, A5.01, A6.01, A7.01, A7.02, and Q2.01 prepared by Clark Kjos Architect, LLC from Portland, OR dated October 23, 2025 with revisions on January 15, 2025 on G0.01, G1.02, A2.01, and Q2.01 and revisions on January 14, 2025 on G1.01, and the accompanying materials that comprising the complete application subject to the attached standard conditions of approval and the following specific conditions for approval:

1. Prior to the issuance of a Site Development Permit, the applicant shall submit a stormwater drainage system plan designed in accordance with Stayton Public Works Design Standards. The design must be reviewed and approved by the Stayton Public Works Department.
2. The applicant shall demonstrate that the Santiam Hospital campus has surplus parking spaces beyond the requirements for its existing laboratory, outpatient care, and bed count. If excess parking is identified, a formal parking easement shall be established to allocate five (5) spaces to the Orthopedic Clinic. Additionally, if the hospital has existing bicycle parking that meets or exceeds the required six (6) spaces, a bicycle parking easement shall be secured. If no surplus parking is available, the applicant must propose an alternative site plan for a modified Site Plan Review.
3. The applicant shall determine whether the Santiam Hospital campus has a surplus of landscaped area beyond the minimum required percentage. If a surplus exists, the applicant is allowed to a portion of the required landscaping to be fulfilled on an adjacent parcel (Tax Lot 091W10AD00100, 1369 N Tenth Avenue). If no surplus landscaping area is available, the applicant must propose an alternative site plan for a modified Site Plan Review.
4. The City of Stayton Standard Conditions of Approval shall apply. All required easements, agreements, and other documentation required by the Planning Conditions of Approval, SMC, PWDS and other agencies having jurisdiction over the work shall be provided to the City for review and approval prior to issuance of a Site Development Permit.

5. Engineered plans and supporting documentation shall be submitted to the City for review and approval prior to issuance of a Site Development Permit:
- a) Site improvement plans conforming to the SMC and Public Works Standards.
 - b) If modifications to the existing water system are needed, then the Developer shall submit to the City for review and approval an engineered water system plan conforming to the SMC, Public Works Standards, and meeting the requirements of the Building Official and Fire Code Official. The Developer shall provide written documentation that the Fire Code Official has reviewed and approved all required private fire access, protection devices, and system modifications, unless otherwise deferred in writing by the Fire Code Official.
 - c) If modifications to the existing sanitary sewer system are needed, then the Developer shall submit to the City for review and approval an engineered sanitary sewer system plan conforming to the SMC, Public Works Standards, and meeting the requirements of the Building Official.
 - d) A stormwater analysis and report conforming to Public Works Standards. Careful review and consideration of the area's seasonal high groundwater impacts, including the necessary vertical separation requirements, will need to be included in the analysis.
 - e) Stormwater conveyance, quality, and quantity facility plans conforming to Public Works Standards and meeting the requirements of the Building Official. It shall be the responsibility of the Developer to provide an acceptable point of discharge for stormwater from the development which will not harm or inconvenience any adjacent or downstream properties and that conforms to Public Works Standards. An acceptable point of discharge is to be designed by the Design Engineer and approved by the City.
 - f) A stormwater operation and maintenance plan and agreement (as approved by the City) to ensure future operation and maintenance of the stormwater quality and quantity facilities.
 - g) An erosion and sediment control plan for the site grading and earth disturbing activities conforming to Public Works Standards.

V. OTHER PERMITS AND RESTRICTIONS

The applicant is herein advised that the use of the property involved in this application may require additional permits from the City or other local, State or Federal agencies.

The City of Stayton Land Use review and approval process does not take the place of, or relieve the Applicant of responsibility for acquiring such other permits, or satisfy any restrictions or conditions there on. The land use permit approval herein does not remove, alter, or impair in any way the covenants or restrictions imposed on this property by deed or other instrument.

In accordance with Section 17.12.120.7, the land use approval granted by this decision shall be effective only when the exercise of the rights granted herein is commenced within 1 year of the effective date of the decision. In case such right has not been exercised or extension obtained, the approval shall be void. A written request for an extension of time may be filed with the City Planner at least 30 days prior to the expiration date of the approval.

VI. APPEAL DATES

The Planning Commission's action may be appealed to the Stayton City Council pursuant to Stayton Municipal Code Section 17.12.110 APPEALS.

Planning Commission Chairperson

Date

Jennifer Siciliano,
Director of Community and Economic Development

Date

Standard Conditions of Approval for Land Use Applications

1. Minor variations to the approved plan shall be permitted provided the development substantially conforms to the submitted plans, conditions of approval, and all applicable standards contained in the Stayton Land Use and Development Code.
2. Permit Approval: The applicant shall obtain all necessary permits and approvals from the City of Stayton prior to construction of the project.
3. Change in Use - Any change in the use of the premises from that identified in the application shall require the City Planner to determine that the proposed use is an allowed use and that adequate parking is provided on the parcel.
4. Landscaping - The applicant shall remain in substantial conformance to the approved landscaping plan and follow the criteria established in SMC 17.20.090 for maintenance and irrigation. Dead plants shall be replaced within six months with a specimen of the same species and similar size class.
5. Utilities - Utility companies shall be notified early in the design process and in advance of construction to coordinate all parties impacted by the construction.
6. Agency Approval - The Developer shall be responsible for all costs relating to the required public improvements identified in the approved plan and the specific conditions of approval and within the City Ordinances and Standard Specifications. The developer is also responsible for securing design approval from all City, State and Federal agencies having jurisdiction over the work proposed. This includes, but is not limited to, the City of Stayton, the Fire District, Marion County, DEQ, ODHS (water design), DSL, 1200C (state excavation permit), etc.
7. Construction Bonding - Bonding shall be required if there are any public improvements. Prior to start of construction of any public improvement, the developer shall provide a construction bond in the amount of 100% of the total project costs, plus added City costs associated with public construction. The bond shall be in a form acceptable to the Director of Public Works.
8. Inspection - At least five days prior to commencing construction of any public improvements, the Developer shall notify the Director of Public Works in writing of the date when (s)he proposes to commence construction of the improvements, so that the City can arrange for inspection. The written notification shall include the name and phone number of the contracting company and the responsible contact person. City inspection will not relieve the developer or his engineer of providing sufficient inspection to enforce the approved plans and specifications.
9. Public Works Standards - Where public improvements are required, all public and private public works facilities within the development will be designed to the City of Stayton, Standard Specifications, Design Standards & Drawings (PW Standards) plus the requirements of the Stayton Municipal Code (SMC). (SMC 12.08.310.1)

10. Engineered Plans - Where public improvements are required, the applicant's engineer shall submit design plans for approval of all public improvements identified on the approved plan or as specified in conditions of approval. All design plans must meet the Stayton PW Standards. Engineered construction plans and specifications shall be reviewed by the City Engineer and signed approved by the City Engineer, or Stayton Public Works Department, prior to construction.
11. Street Acceptance - Where public improvements are required, acceptance of completed public street improvements associated with the project shall be in accordance with SMC 12.04.210.
12. Construction Approval - All public improvements and public utilities shall be fully constructed and a letter of substantial completion provided by the City Engineer prior to any building permit applications being accepted or issued unless the required improvements are deferred under a non-remonstrance or other agreement approved and signed by the City. Construction items must be completed within a specified period of time provided in the approval letter or the approval of any additional building permits will be withdrawn by the City.
13. Maintenance Bond - After completion and acceptance of a public improvement by the City, the developer shall provide a 1-year maintenance bond in the amount of 30% of the construction bond amount. The bond shall be in a form acceptable to the Director of Public Works.
14. As-Builts - Where public improvements are required, the developer shall submit to the City, reproducible as-built drawings and an electronic file of all public improvements constructed during and in conjunction with this project. Field changes made during construction shall be drafted to the drawings in the same manner as the original plans with clear indication of all modifications (strike out old with new added beside). As-built drawings shall be submitted prior to final acceptance of the construction, initiating the one-year maintenance period.
15. Drainage Permit – A 1200C permit will be secured by the developer if required under the rules of the Oregon State DEQ.
16. SDC - Systems Development Charges are applied to the project at the time of issuance of a building permit.



CITY OF STAYTON M E M O R A N D U M

TO: Jennifer Siciliano, Community & Economic Development Director
FROM: Michael Schmidt, City of Stayton Public Works
DATE: March 24, 2025
PROJECT: Land Use #17-12/24 Application Review – 1377 N Tenth Ave. Santiam Orthopedic Group

Background

Public Works received a copy of the application provided by Clark/Kjos Architects, LLC, for owner Santiam Hospital. The application is to construct a new 820 sq. ft. expansion of the existing Orthopedic Group building.

The following land use application review concentrates on the public works aspects and implications of the application, including anticipated impacts to existing public utilities and recommended public improvements. The review findings and public works recommendations are based on a review of the applicable public works portions of the City of Stayton Municipal Code (SMC) and Public Works Design Standards (PWDS), and does not include a review of any other agency's requirements, or any building or other specialty code requirements covered under such building, plumbing, mechanical, electrical, fire, or any other applicable codes and regulations that may be required for the project.

The Developer will be required to obtain any and all required reviews, approvals, and permits required by the Planning Conditions of Approval, SMC, PWDS, Marion County, DEQ, OHA-DWS, Fire Code Official, Building Official, and/or any other agencies having jurisdiction over the work. As such, the Developer shall coordinate with Public Works, Fire Code Official, Building Official, and other appropriate agencies as necessary. The City of Stayton Municipal Code and Public Works Standards are available online at <http://www.staytonoregon.gov>, under the document center and the public works department menus.

Project Overview

Project Site and Access

The application and City GIS mapping show the location of the proposed development to be

within Township 9 South, Range 1 West, Section 10AD, Tax Lot 01800. Vehicular access to the existing parcel is shown to remain at the current location off N Tenth Ave. From the tax assessor's map, Tax Lot 01800 is approximately 0.38 acres in size.

Transportation

- TIA/TAL – A Transportation Impact Analysis (TIA) or Transportation Assessment Letter (TAL) will not be required.
- Right of Way – additional right of way is not required.
- Street Improvements – street improvements are not required.
- Sight distance, street lighting, driveway spacing, and streetscape appurtenances do not apply to this project.

Water

- Domestic Service and Backflow Prevention - The application that there is no sewer, water, or site lighting being proposed for the project. Any modifications to the existing water system shall comply with the SMC, Public Works Standards, and applicable building/specialty codes. All private utilities will need to be adequately sized and designed by the Design Engineer in accordance with applicable building/specialty codes and reviewed and approved by the Building Official.
 - All backflow prevention details will need to be reviewed and approved by the City, Building Official and the Fire Code Official, as applicable.
 - All private utilities will need to be adequately sized and designed by the Design Engineer in accordance with the PWDS and applicable building/specialty codes and reviewed and approved by the Building Official.
- Fire Protection – Generally, fire hydrant(s) are required to be installed within 250' of any new structure, unless otherwise approved by the Fire Code Official. The Developer shall review and coordinate with the Fire Code Official to ensure compliance with applicable fire codes and regulations. Any necessary water system improvements shall comply with the Public Works Standards and be shown on the engineered plans. The Developer shall provide the necessary fire access, protection devices, and system modifications and meet all other fire protection requirements of the Fire Code Official.
- Fire Code Official Approval - Prior to Site Development Permit final plan approval, the Developer will be required to provide written documentation showing that the Fire Code Official has reviewed and approved all required fire access, protection devices, and system modifications, unless otherwise approved to be deferred in writing by the Fire Code Official.
- Engineered Plans - If modifications to the public water system are needed, then the Developer shall submit to the City for review and approval an engineered water system plan conforming to the SMC, Public Works Standards, and meeting the requirements of the Building Official and Fire Code Official.

Sanitary Sewer

- The application site plans indicate that there is no sewer, water, or site lighting being proposed for the project. Any modifications to the existing sanitary sewer system shall comply with the SMC, Public Works Standards, DEQ, and applicable building/specialty codes. All private utilities will need to be adequately sized and designed by the Design Engineer in accordance with the PWDS and applicable building/specialty codes and reviewed and approved by the Building Official.
- Engineered Plans - If modifications to the sanitary sewer system are needed, then the Developer shall submit to the City for review and approval an engineered sanitary sewer plan conforming to the SMC, Public Works Standards, and meeting the requirements of the Building Official and Fire Code Official.

Stormwater

- New Storm Drainage System – The application plans do not show stormwater improvements. The application indicates the stormwater is proposed to be drained to the existing stormwater detention pond located near the intersection of N 10th Ave. and E Santiam Street. As such, the storm drainage system for the development shall be designed in accordance with PWDS requirements and design calculations shall be submitted for review. All private utilities will need to be adequately sized and designed by the Design Engineer in accordance with the PWDS and applicable building/specialty codes, and also reviewed and approved by the Building Official.
- Stormwater Analysis and Report – A stormwater analysis, drainage report and supporting documentation will be required in accordance with PWDS 603.01. Existing site topography, off-site contributing areas, and the high seasonal groundwater elevation will need to be considered and included in the stormwater design. All developed open water surface areas will need to be included in the stormwater calculations, and the required stormwater facility setback distances shall be shown on the plans. The City is known to have high seasonal groundwater issues, so the potential impacts to the stormwater drainage system and stormwater facilities will need to be considered in the design.
- Stormwater Quality and Quantity – In accordance with PWDS 602.01.N, stormwater quality and quantity provisions shall be included as part of the design considerations. The City's thresholds for proposals that are subject to the stormwater quality and quantity requirements are as indicated in PWDS 602.01.N. Unless otherwise specifically approved by the City Engineer, proposals meeting these thresholds must comply with the stormwater quality (pollution reduction) requirements specified in PWDS 607, the stormwater quantity (flow control) requirements specified in PWDS 608, and the stormwater infiltration requirements specified in PWDS 609. All projects shall comply with the City's stormwater operations and maintenance (O&M) plan and agreement requirements and source control requirements.
 - In accordance with PWDS 602.01.N, stormwater shall be surface infiltrated onsite to the maximum extent feasible, before discharging any flows offsite. See PWDS 609 for stormwater infiltration requirements.
 - Stormwater quality facilities meeting the requirements of PWDS 607 will be required. Stormwater facilities will need to properly function during periods of high groundwater and the water quality of the groundwater needs to be adequately protected. Best management practices shall be used

to minimize any degradation of stormwater quality caused by the development. A stormwater quality manhole shall be provided upstream of vegetated stormwater facilities per PWDS 607.03, unless otherwise approved.

- Stormwater quantity facilities meeting the requirements of PWDS 608 will be required. If detention is proposed, stormwater quantity facilities will be required to detain post-developed peak runoff rates from the 2-year, 5-year, 10-year, 50-year, and 100-year 24-hour storm events to the respective pre-developed peak runoff rates, and the post-developed peak runoff rate for the 25-year storm event will be required to be detained to the 10-year pre-developed peak runoff rate per PWDS
 - 602.05.C. A downstream capacity analysis may also be required per PWDS 603.01.B. If retention is proposed, then the stormwater retention facility shall be designed to retain a 100-year storm event per PWDS 602.05.C.
 - Provisions for an adequate and approved emergency overflow system are required to convey the post-developed 100-year storm event flows to an acceptable point of discharge. Per SWMM 2.4.2.3, emergency escape routes from stormwater facilities are not the same as a piped overflow and cannot be directly piped to public storm sewer systems. Recommended emergency escape routes include safe overland flow routes to parking lots, streets, landscaped areas, or drainage ways.
 - Appropriate setbacks from the edge of the stormwater facility's maximum water surface to the building foundations and property lines shall be provided, unless an easement with adjacent property owners is provided in accordance with the SWMM requirements.
 - The amount of impervious surface area that has been included in the stormwater calculations shall be shown in the stormwater drainage report narrative and noted on the stormwater plans, including what the impervious surface area calculation includes (e.g., pavements, sidewalks, driveways, driveway approaches, roofs, etc.). The maximum amount of impervious surface area shall be shown for each building to be constructed that has been accounted for in the stormwater facility design. The stormwater facility open water surface area shall be included in the calculations as an impervious open water surface area.
- Acceptable Point of Discharge – It shall be the responsibility of the Developer to provide a suitable discharge location for stormwater from the development which will not harm or inconvenience any adjacent or downstream properties and that conforms to Public Works Standards and applicable jurisdictional agency's requirements. An acceptable point of discharge is to be designed by the Design Engineer and approved by the City and applicable jurisdictional agencies.
 - Stormwater Operation and Maintenance Plan and Agreement – Stormwater operation and maintenance of any private stormwater facilities will be the obligation of the property owner. As such, a stormwater operation and maintenance plan and agreement (as approved by the City) will be required to ensure future operation and maintenance of private stormwater facilities. See the Public Works Standard forms.
 - Engineered Plans – Prior to Site Development Permit issuance, the Developer shall submit to the City for review and approval engineered stormwater conveyance, quality, and quantity plans, stormwater analysis and report, and an O&M plan and agreement conforming to Public Works Standards, and meeting the requirements of the Building Official.

Erosion and Sediment Control

The Developer shall submit to the City for review and approval an erosion and sediment control plan conforming to Public Works Standards. Erosion and sediment control measures shall be in accordance with PWDS Division 7.

Recommended Public Works Conditions of Approval

1. The City of Stayton Standard Conditions of Approval shall apply. All required easements, agreements, and other documentation required by the Planning Conditions of Approval, SMC, PWDS and other agencies having jurisdiction over the work shall be provided to the City for review and approval prior to issuance of a Site Development Permit.
2. The following engineered plans and supporting documentation shall be submitted to the City for review and approval prior to issuance of a Site Development Permit.
 - a. Site improvement plans conforming to the SMC and Public Works Standards.
 - b. If modifications to the existing water system are needed, then the Developer shall submit to the City for review and approval an engineered water system plan conforming to the SMC, Public Works Standards, and meeting the requirements of the Building Official and Fire Code Official. The Developer shall provide written documentation that the Fire Code Official has reviewed and approved all required private fire access, protection devices, and system modifications, unless otherwise deferred in writing by the Fire Code Official.
 - c. If modifications to the existing sanitary sewer system are needed, then the Developer shall submit to the City for review and approval an engineered sanitary sewer system plan conforming to the SMC, Public Works Standards, and meeting the requirements of the Building Official.
 - d. A stormwater analysis and report conforming to Public Works Standards. Careful review and consideration of the area's seasonal high groundwater impacts, including the necessary vertical separation requirements, will need to be included in the analysis.
 - e. Stormwater conveyance, quality, and quantity facility plans conforming to Public Works Standards and meeting the requirements of the Building Official. It shall be the responsibility of the Developer to provide an acceptable point of discharge for stormwater from the development which will not harm or inconvenience any adjacent or downstream properties and that conforms to Public Works Standards. An acceptable point of discharge is to be designed by the Design Engineer and approved by the City.
 - f. A stormwater operation and maintenance plan and agreement (as approved by the City) to ensure future operation and maintenance of the stormwater quality and quantity facilities.
 - g. An erosion and sediment control plan for the site grading and earth disturbing activities conforming to Public Works Standards.



CITY OF STAYTON APPLICATION FOR SITE PLAN REVIEW

APPLICATION AND DECISION MAKING PROCEDURES

1. PRE-APPLICATION MEETING

Prior to submittal of an application, a pre-application meeting with City Staff is required. A completed pre-application form and sketch plan drawing need to be submitted at least two weeks in advance of the meeting. Meetings are held on Thursday afternoons and there is a \$500 fee for the first required pre-application meeting.

2. APPLICATION FEE

Submission of a completed application form, with a plan and narrative statement required by page 2 of the Application Form, and payment of the application deposit are required before the review process begins. The application and deposit shall be submitted to the Community and Economic Development Department during regular business hours. **The deposit for this application is \$1,700.** If the cost to the City does not reach the amount paid, the excess fee will be refunded to the applicant after the file is closed. If during the processing of the application, the costs to the City exceed 75% of the amount paid, the applicant will be required to pay an additional 50% of the full amount, to assure that there are adequate funds to continue to process the application.

3. REVIEW FOR COMPLETENESS AND SCHEDULING A HEARING

The Community and Economic Development Director will review the submitted application for completeness and, within 30 days from the date of submittal, determine if the applicant has provided all required information. If the application is incomplete, the Community and Economic Development Director will notify the applicant of the items which need to be submitted. Once the application is deemed complete, the Director will schedule a hearing before the Stayton Planning Commission. Planning Commission meetings are regularly scheduled for the last Monday of the month.

4. STAFF REPORT

Once a hearing date is set, the Community and Economic Development Director will prepare a staff report and draft order summarizing the applicant's proposal, the decision criteria, comments from other agencies or the public, and address whether the application complies with code requirements or suggest conditions to meet those requirements. A copy of the staff report and draft order will be provided to the applicant no less than 7 days prior to the public hearing.

5. PUBLIC HEARING BEFORE THE STAYTON PLANNING COMMISSION

Prior to the public hearing, notice is required to be sent to all property owners within 300 feet of the property 20 days before the hearing, so the hearing will be scheduled at the first regular meeting following the notice period. The hearing is to give all interested parties an opportunity to comment on the application. The hearing is conducted by the Chairperson in accordance with the Stayton Public Hearing Rules of Procedure. These rules are available at City Hall.

At the conclusion of the hearing and deliberation, the Planning Commission will adopt an order stating the decision criteria, findings of fact, conclusions whether the application meets any applicable standards and the Commission's decision. The Commission may decide to deny, approve, or approve the application with conditions.

6. PUBLIC HEARING BEFORE THE STAYTON CITY COUNCIL

An application may be called up by, or appealed to the City Council. If called up, the Council will also conduct a public hearing. If appealed, the Council will decide whether to hear the appeal and hold a public hearing. A notice is required 10 days prior to the hearing which will be held at the regular Council meeting, which meets the first and third Mondays of every month. Staff reports, Planning Commission findings, and any new information will be presented to Council for consideration. The purpose of the hearing is to receive further public testimony, to review the application and consider the Planning Commission's decision and conditions. Generally, the Council will make a decision at the conclusion of the hearing process, but may delay the decision for further information or action by the applicant. The Council will then adopt an order either approving or denying the application.

7. APPEALS

Council actions may be appealed to the State Land Use Board of Appeals pursuant to ORS 197.805 through 197.855.

8. FOR MORE INFORMATION

Call or write to City of Stayton Community and Economic Development Dept., (mailing address) 362 N. Third Avenue, (building address) 311 N. Third Avenue, Stayton, Oregon 97383. (503) 769 2998; email: jsiciliano@staytonoregon.gov.

APPLICATION CHECKLIST FOR SITE PLAN REVIEW

This checklist has been prepared to assist applicants in submitting an application that includes all the submission requirements in Sections 17.12.220 and 17.26.050. Please note that this checklist may paraphrase the requirements from the Code. It is the applicant's responsibility to read and understand the requirements of the Code. Review of an application will not begin until a complete application has been submitted. If you have questions, contact the Planning Department.

- ☐ **Property Owner Authorization:** If the applicant is not the owner of the property, the application must include written indication of the applicant's right to file the application. This may be a purchase and sale agreement, an option or other document that gives the applicant some legal interest in the property. If the applicant is to be represented by another individual (planning consultant, engineer, attorney) the application must be accompanied by a notarized statement certifying that the applicant's representative has the authorization of the applicant(s) to file the application.
- ☐ A plan showing the boundary lines of the property as certified by a professional land surveyor.
- ☐ Three copies of the site plan at a scale of 1 inch equals not more than 50 feet and 7 reduced copies of the plan sized 11 inches by 17 inches with the following information included or accompanying the plan.
 - North point, graphic scale, and date of preparation of the proposed site plan.
 - Names and addresses of the landowners, applicant, the engineer, surveyor, land planner, landscape architect, or any other person responsible for designing the proposed site plan.
 - An appropriate space on the face of the plan to indicate the action of the Planning Commission, including the date of decision.
 - Map number (township, range and section) and tax lot number of the parcel.
 - The area of the property in acres or square feet.
 - The location, widths, and names of existing or platted streets or other public ways (including easements) within or adjacent to the property.
 - Existing buildings and the addresses for the buildings.
 - Topography of the site with contour intervals of not more than 2 feet.
 - The location of existing sewerage systems for the property.
 - The location of water mains, culverts, drainage ways, or other underground utilities or structures within the property or immediately adjacent to the property.
 - Predominant natural features such as water courses (including direction of their flow), wetlands, rock outcroppings, and areas subject to flooding or other natural hazards.
 - A stormwater management plan.

If the proposal will create 500 square feet or more of new impervious surface, then the application shall include a preliminary drainage impact analysis. The analysis shall include a preliminary drainage map and narrative which identifies the impact the development will have on existing stormwater systems. The narrative shall at a minimum include and discuss:

- ☐ The anticipated pre-development and post-development stormwater runoff flow rates.
- ☐ The proposed method for handling the computed stormwater runoff, including the location and capacity of all natural or proposed drainage facilities.
- ☐ The method of discharging stormwater offsite at the naturally occurring location and any anticipated design provisions needed to control the velocity, volume, and direction of the discharge in order to minimize damage to other properties, stream banks, and overall stormwater quality.
- A proposed plan for means and location of sewage disposal and water supply systems in accordance with the City's Wastewater and Water Master Plans.
- A landscaping plan (See section 17.20.090.3 for details).
- The location of parking facilities for the site including any parking areas shared with adjacent uses by

reciprocal access agreement.

- The location of any proposed structures including the ground coverage, floor area and the proposed use.
 - The location and dimensions of open storage areas or outdoor storage yards.
 - The location of any free-standing signage.
 - The location of any proposed screening including fences, walls hedges and berms.
- ☐ Vicinity Map: The vicinity map may be drawn on the same map as the site plan. All properties, streets, and natural features within 300 feet of the perimeter of the parcel shall be shown on the vicinity map.
- ☐ Building elevations of all building façades drawn to a scale of $\frac{1}{4}$ inch = 1 foot or $\frac{1}{8}$ inch = 1 foot with the following information.
- Siding materials listed.
 - Elevations include any accessory structures such as trash enclosures.
 - Outlines of existing surrounding buildings with building heights detailed.
- ☐ A lighting plan that includes:
- The location of all existing and proposed exterior lighting fixtures.
 - Specifications for all proposed lighting fixtures.
 - Proposed mounting height.
 - Analyses and illuminance level diagrams.
 - Relevant building elevations showing the fixtures, the portions of the walls to be illuminated, the illuminance levels of the walls, and the aiming points for any remote fixtures.
- ☐ Either a Transportation Assessment Letter or a Transportation Impact Analysis. A Transportation Impact Analysis is required if:
- 1) The development generates 25 or more peak-hour trips or 250 or more daily trips.
 - 2) An access spacing exception is required for the site access driveway(s) and the development generates 10 or more peak-hour trips or 100 or more daily trips.
 - 3) The development is expected to impact intersections that are currently operating at the upper limits of the acceptable range of level of service during the peak operating hour.
 - 4) The development is expected to significantly impact adjacent roadways and intersections that have previously been identified as high crash locations or areas that contain a high concentration of pedestrians or bicyclists such as a school.

The Transportation Impact Analysis shall be based on the standards and requirements in Section 17.26.050. If a Transportation Impact Analysis is not required, a Transportation Assessment Letter shall be submitted that meets the requirements of 17.26.050.2. The Public Works Director may waive the requirement for a transportation assessment letter if a clear finding can be made that the proposed land use action does not generate 25 or more peak-hour trips or 250 or more daily trips and the existing and or proposed driveway(s) meet the City's sight-distance requirements and access spacing standards.

Submission of all materials in an electronic format is encouraged.

BURDEN OF PROOF

This is a quasi-judicial application in which the applicant has the burden of proof. According to law, the applicant must present to the decision maker facts, evidence, analysis, and justification for each and every decisional criteria in order to carry out that burden of proof. It is important to remember that there is no assumption that the applicant is entitled to this approval. The burden of proof lies with the applicant to prove how the proposal complies with the land use ordinances, not with the City of Stayton.

Stayton Municipal Code Title 17, Land Use and Development, is available online at: www.staytonoregon.gov. Click on the Document Center tab and select Municipal Code.



CITY OF STAYTON
APPLICATION FOR SITE PLAN REVIEW

PROPERTY OWNER: Santiam Hospital

Address: 1401 N 10th Ave.

City/State/Zip: Salem, OR 97383

Phone: () - Email:

APPLICANT: Paul Hartmann, Director of Facilities

Address: 1401 N 10th Ave.

City/State/Zip: Stayton, OR 97383

Phone: (503) 769 - 2175 Email: Phartmann@santiamhospital.org

APPLICANT'S REPRESENTATIVE: Clark/Kjos Architects (William Sloman, Project Manager)

Address: 621 SW Alder St, STE 700

City/State/Zip: Portland, OR 97205

Phone: (503) 206 - 3825 Email: willsloman@ckarch.com

CONSULTANTS: Please list below planning and engineering consultants.

PLANNING

Name:

Address:

City/State/Zip:

Phone: () -

Email:

ENGINEERING

Name:

Address:

City/State/Zip:

Phone: () -

Email:

Select one of the above as the principal contact to whom correspondence from the Planning Department should be addressed:

☐ owner ☐ applicant ☒ applicant's representative ☐ planning consultant ☐ engineer

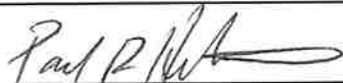
LOCATION:

Street Address: 1377 N 10th Ave.

Assessor's Tax Lot Number and Tax Map Number: 103914 - 091W10AD01800

Closest Intersecting Streets: Fir St.

ZONE MAP DESIGNATION: Commercial General

SIGNATURE OF APPLICANT: 

DO NOT WRITE BELOW THIS LINE

Application received by: _____ Date: _____ Fee Paid: \$ _____ Receipt No. _____

Land Use File# _____

QUESTIONS TO BE ADDRESSED IN NARRATIVE STATEMENT

The Stayton Planning Commission, with assistance from the Community and Economic Development Department and the Public Works Department will use the information provided by the applicant to analyze the merits of this application. A decision to approve or deny the application is made based on how well the applicant presents information to show the application meets the standards and criteria set forth in the Stayton Land Use and Development Code 17.12.220.5. Please provide the following information in full and attaché to this application.

1. **ADEQUATE UTILITIES:** How will the development obtain or maintain adequate utility systems (including water, sewer, surface water drainage, power, and communications), and connections, including easements, to properly serve the subject property in accordance with accepted City standards?
 - a. How will the applicant assure there are adequate water, sewer, and storm drainage facilities available to serve the proposed development?
 - b. List public services currently available to the site:
Water Supply: _____ - inch line available in _____ Street.
Sanitary Sewer: _____ - inch line available in _____ Street.
Storm Sewer: _____ - inch line available in _____ Street.
Natural Gas: _____ - inch line available in _____ Street.
Telephone: ☐ is (or) ☐ is not available in _____ Street.
Cable TV: ☐ is (or) ☐ is not available in _____ Street.
Electrical: ☐ is (or) ☐ is not available in _____ Street.
 - c. Will existing City public services need to be replaced or upgraded to accommodate the demands created by the development?
2. **TRAFFIC CIRCULATION:** How will the development provide for safe and efficient internal traffic circulation, including both pedestrian and motor vehicle traffic, and provision for safe access to and from the property to those public streets and roads which serve the property?
3. **STREET IMPROVEMENTS:** How will the development provide for all necessary improvements to local streets and roads, including the dedication of additional right-of-way to the City and/or the actual improvement of traffic facilities to accommodate the additional traffic load generated by the proposed development?
4. **PARKING AND LOADING AREAS:** How will the development provide for parking areas and adequate loading/unloading facilities?
5. **OPEN STORAGE AREAS/OUTDOOR STORAGE YARDS:** Are there any open storage areas or outdoor storage yards included in the development? If yes, how will they meet development code standards?
6. **OFFSITE IMPACTS:** How will the development minimize off site impacts such as noise, odors, fumes, or other impacts?
7. **DESIGN STANDARDS:** How does the proposed development meet the applicable design standards for commercial or multi-family residential development?
8. **COMPATIBILITY WITH NEIGHBORING PROPERTIES:** How will the design and placement of buildings and other structural improvements provide compatibility in size, scale, and intensity of use between the development and neighboring properties?
9. **DESIGN WILL SERVE INTENDED USE:** How will the location, design, and size of the proposed improvements to the site fulfill the intended purpose of the intended use of the site and will properly serve anticipated customers or clients of the proposed improvements.
10. **LANDSCAPING:** How will the proposed landscaping prevent unnecessary destruction of major vegetation, preserve unique or unusual natural or historical features, provide for vegetative ground cover and dust control, and present an attractive interface with adjacent land use and development?

11. **SCREENING:** How will the design of any visual or physical barriers around the property (such as fences, walls, vegetative screening or hedges) allow them to perform their intended function while having no undue adverse impact on existing or contemplated land uses.
12. **MAINTENANCE:** What continuing provisions are there for maintenance and upkeep of the proposed development?



Site Plan Review & Variance Applications

February 1, 2025

Submitted to:	City of Stayton Planning and Development Department 311 N. Third Ave. Stayton, OR 97383 Jennifer Siciliano, Community Development Director (503)769-2998 / jsiciliano@staytonoregon.gov
Applicants/Property Owners:	Sanitiam Hospital 1401 N. Tenth Ave. Stayton, OR 97383 Paul Hartmann, director of Facilities (503)769-9217 / phartmann@santiamhospital.org
Applicant's Representative:	Clark/Kjos Architects 621 SW Alder St. Ste. 700 Portland, OR 97205 William Sloman, Project Manager (503)206-3825/ willsloman@ckarch.com
Site Location:	Santiam Orthopedic Group 1377 N. Tenth Ave. Stayton, OR 97383
Marion County Assessor's Map No.:	09-01W-10AD Tax Lots 1800
Site Size:	.27 Acres (11,573 sf)
Existing Land Use:	Orthopedic Clinic
Zone Designation:	Commercial General
Surrounding Zoning:	North: Public East: Public South: Public West: Low Density Residential
Surrounding Uses:	North: Santiam Hospital, Parking lot East: Santiam Women's Clinic South: Grass bank (owned by Santiam Hospital) West: Grass field (owned by Santiam Hospital)

I. Executive Summary

Santiam Hospital ("Applicant") request approval of a concurrent Site Plan Review and Variance applications for the expansion of the Orthopedic Group.

II. Findings of Fact

a. General Findings

- i. The owners of the property is Santiam Hospital
- ii. The applicants are the owners
- iii. The property can described as Township 9, Range 1 West of the Willamette Meridian, Section 10AD, Tax Lot 1800. The tax parcel has an address assigned as 1377 North Tenth.
- iv. The property is inside the Stayton City Limits, zoned Commercial General (CG), and designated as Commercial by the Comprehensive Map.
- v. The property is part of the Santiam Campus with the main hospital address being 1401 N. Tenth Ave. (Entire campus is highlighted in red on the "091W10AD - Hospital owned properties.pdf")
- vi. The property is approximately .27 acres in area with approximately 120 feet facing the main drive and 115 feet facing the East parking drive.
- vii. The site is bounded to the North, East, and South by public zoned property and to the West by a Low Density Residential all owned by Santiam Hospital.

III. Existing Conditions

- a. The building was built in 1977 and renovated in 2022.

IV. Proposal

- a. The proposal is to expand the existing Orthopedic Group to the Northwest by 820sf. (roughly 14.8% of existing building sf) This addition would be for the addition of an Xray room and an Administration area.

V. Analysis

- a. Site plan review applications are required to satisfy approval criteria contained within Stayton Municipal Code (SMC) Title 17, Section 17.12.220 and applicable provisions of the Development and Improvement Standards of SMC Title 17, Chapter 20. Variance applications are required to satisfy approval criteria contained in applicable sections of chapter 20 are 17.20.060.7 – Off-Street parking and loading; 17.20.060.9-A – Bicycle Parking; 17.20.090 – Landscaping and Screening

VI. Site plan Review – Review Criteria

Pursuant to SMC 17.12.220(5) the following criteria must be demonstrated as being satisfied by the application:

- a. "The existence of, or ability to obtain, adequate utility systems (including water, sewer, surface water drainage, power, and communications) and connections, including easements, to properly serve development in accordance with the City's Master Plans and Public Works Design Standards. Where an adopted Master Plan calls for facilities larger than necessary for service to the proposed use, the developer shall install the size facilities called for in the Master Plan, and shall be provided credit for the excess costs in accordance with SMC 13.12.245."

Findings: The proposed will utilize existing water, sewer, power, and communications services in the building. Surface water drainage will be managed by the retention pond located at corner of N Tenth Ave. and E Santiam St. as well as being offset by the

removal of 980sf of impervious area for the Santiam women's clinic on the same campus.

- b. "Provisions have been made for safe and efficient internal traffic circulation, including both pedestrian and motor vehicle traffic, and for safe access to the property for vehicles, as well as bicycle and pedestrians, from those public streets which serve the property in accordance with the City's Transportation System Plan and Public Works Design Standards."

Finding: The subject site is connected to N. Tenth Ave. through the parking drive and a public sidewalk to the rest of the campus. To the west there is a gravel path that to the corner of E. Hollister St. and N. Seventh Ave.

- c. "Provision has been made for all necessary improvements to local streets and roads, including the dedication of additional right-of-way to the City and/or the actual improvement of traffic facilities to accommodate the additional traffic load generated by the proposed development of the site in accordance with Chapter 17.26, the City's Transportation System Plan, and Public Works Design Standards. Improvements required as a condition of approval shall be roughly proportional to the impact of the development on transportation facilities. Approval findings shall indicate how the required improvements are directly related to and are roughly proportional to the impact of development."

Finding: According to Caleb Cox, PE from Kittelson & Asso., "The plans show an 820 sf addition to the existing clinic building. The anticipated traffic generated by the clinic addition is well below the threshold to trigger a traffic impact study and the site is proposing access through existing full movement driveways on N 10th Avenue and Fir Street that meet the City code (17.26.020.3.h) required spacing. Given the low trip generation and no new accesses being proposed, we recommend waiving the transportation assessment letter for this application as well."

- d. "Provision has been made for parking and loading facilities as required by Section 17.20.060."

Finding: The 820 sf addition requires five additional parking stalls, as per Table 17.20.0607.b. However, the hospital is requesting a waiver, as the intended program for this addition will not result in increased traffic to the facility. There are also 184 existing parking stalls, 6 spots located under the west side of the Orthopedic Group, and a gravel parking area for staff situated east of N. Tenth Ave. and north of E. Santiam St. Additionally, the Santiam Women's clinic includes the demolition of 980 square feet which will be constructed concurrently and will offset the need for additional parking.

- e. "Open storage areas or outdoor storage yards shall meet the standards of Section 17.20.070."

Findings: No new Open storage areas or outdoor storage are proposed for this project.

- f. "Site design shall minimize off site impacts of noise, odors, fumes or impacts."

Findings: No off-site impacts (i.e. noise, odors, or fumes) are anticipated due to the program of the project. Additionally, the surrounding properties are owned by the hospital and will have limited, if any, impact on the surrounding community.

- g. "The proposed improvements shall meet all applicable criteria of either Section 17.20.190 Multi-family Residential Design Standards, Section 17.20.200 Commercial Design Standards, Section 17.20.220 Downtown Development Design Standards, or Section 17.20.230 Industrial Design Standards."

Finding: The existing building meets section 17.20.200 of the SMC. The addition will match the existing façade to keep in line with this section.

- h. Repealed

- i. Repealed

- j. "Landscaping of the site shall prevent unnecessary destruction of major vegetation, preserve unique or unusual natural or historic features, provide for vegetative ground cover and dust control, present an attractive interface with adjacent land uses and be consistent with the requirements for landscaping and screening in Section 17.20.090."

Finding: We are submitting a waiver to include the entire calculation for the minimum landscaping. We meet the street requirements as the site does not face the street.

- k. "The design of any visual, sound, or physical barriers around the property such as fences, walls, vegetative screening, or hedges, shall allow them to perform their intended function and comply with the requirements in Sections 17.20.050 and 17.20.090."

Finding: Trees around the campus create a natural barrier separating the subject site and hospital campus from the rest of the neighborhood. There are no fences or physical barriers that have been constructed or planned.

- l. "The lighting plan satisfies the requirements of Section 17.20.170."

Finding: No plan improvements are planned for this site or the greater campus.

- m. "The applicant has established continuing provisions for maintenance and upkeep of all improvements and facilities."

Finding: Santiam Hospital Facility department have been and will continue to maintain the building and grounds of the facility.

- n. "When any portion of an application is within 100 feet of North Santiam River or Mill Creek or within 25 feet of Salem Ditch, the proposed project will not have adverse impact on fish habitat."

Finding: The property is more than 100 ft from Mill Creek, North Santiam River, or Salem Ditch.

- o. "Notwithstanding the above requirements the decision authority may approve a site plan for a property on the National Register of Historic Places that does not meet all of the development and improvement standards of Chapter 17.20 and the access spacing standards of Chapter 17.26 provided the decision authority finds that improvements proposed are in conformance with Secretary of the Interior's Standards for Treatment of Historic Properties, the site will provide safe ingress and egress to the public street system, and that adequate stormwater management will be provided."

Finding: The property is not a historic site and is not on the National Register of Historic Places.

Sincerely,

CLARK/KJOS ARCHITECTS, LLC
William Sloman, Project Manager

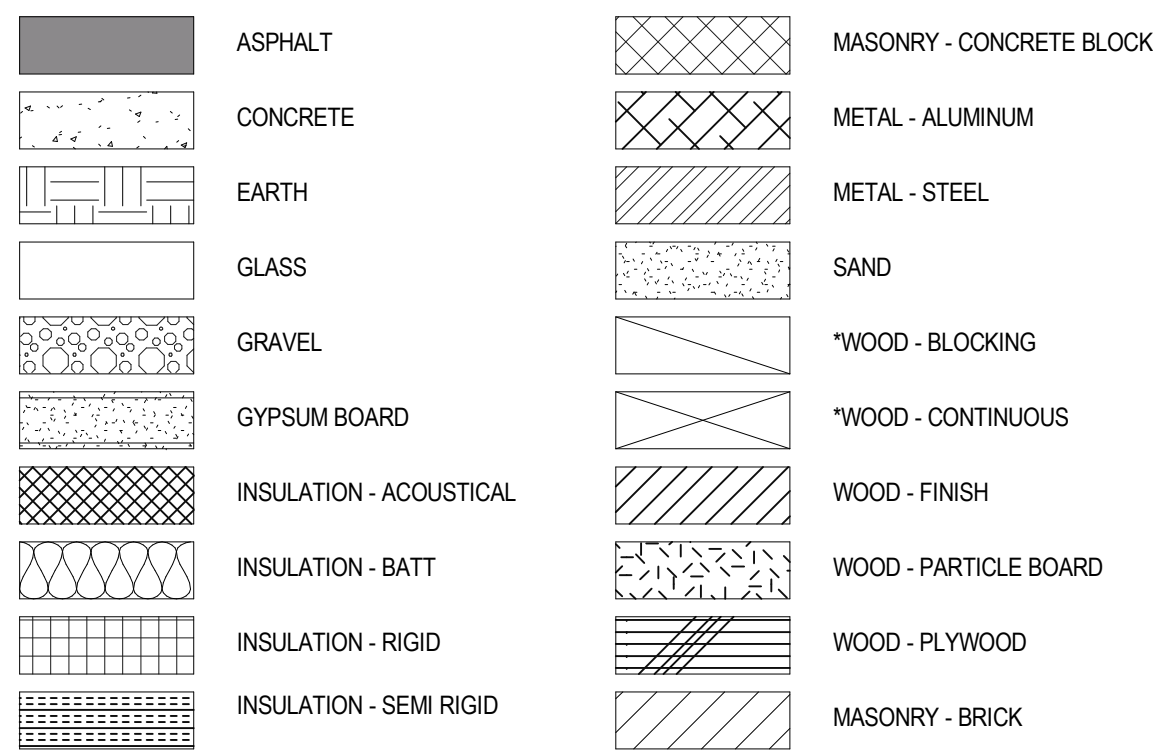
Enclosure

cc:

Site Plan Review Application – Santiam Orthopedic
Variance Application – 17.20.060 – Parking
Variance Application – 17.20.060.9-A -Bicycle Parking
Variance Application – 17.20.0090 – Landscaping
Santiam X-Ray Ortho Permit Set-121024

An architectural rendering of a modern, single-story building. The building features a flat roof with a dark, possibly black, finish. The exterior walls are primarily a light beige or tan color, with horizontal siding. A prominent feature is a large, multi-paned window on the left side, framed in black. To the right of this window, there are four smaller, rectangular windows, each with a black frame. The building is situated on a paved area, likely a parking lot, with a green lawn visible in the foreground. The overall style is clean and minimalist.

SYMBOLS AND FILL PATTERNS



C L A R K K J O S A R C H I T E C T S, L L C		Phone: 503/224-4848	
621 SW Alder St., Suite 700 Portland, OR 97205			
			
SANTIAM ORTHO X-RAY ADDITION			
Santiam Hospital and Clinics		1377 N 10th Ave, Stayton, OR 97383	
ISSUE DATE: 10/23/2024			
REVISIONS:			
2	OHA Response	01.15.25	
			CONSTRUCTION DOCUMENTS
GEN. NOTES, SYMBOL, ABBRE. & FINISH CODE			
G0.01			
PROJECT NO.:		2400	



1 LIFE SAFETY PLAN - 1ST FLOOR
1/4" = 1'-0"

CODE SUMMARY

PROJECT NAME:	SANTIAM HOSPITAL ED REMODEL
ADDRESS:	1401 N 10TH AVE, STAYTON, OR 97383
OWNER:	SANTIAM HOSPITAL
CODES:	2022 IRC NFPA 101-CHAPTER 38 2022 OREGON MECHANICAL SPECIALTY CODE 2023 OREGON PLUMBING SPECIALTY CODE 2023 OREGON ELECTRICAL SPECIALTY CODE
OCCUPANCY:	B
NUMBER OF STORIES:	ONE
CONSTRUCTION TYPE:	V-A
FIRE PROTECTION:	NOT SPRINKLERED
FIRE ALARM SYSTEM:	YES
ALLOWABLE SQUARE FOOTAGE:	(TABLE 506.2)
ALLOWABLE SQUARE FOOTAGE FOR GROUP B (V-A):	18,000 SF
TOTAL AREA ALLOWED:	24,750 SF
PROJECT AREA:	980 SF
RENOVATION AREA:	160 SF
ADDITION AREA:	820 SF
BUILDING AREA (AFTER CONSTRUCTION):	6,860 SF
FIRE SEPARATION DISTANCE:	≥30'-0"
MAXIMUM AREA OF EXTERIOR WALL OPENINGS (705.8)	≥30'-0" UNPROTECTED, SPRINKLERED UNLIMITED
OCCUPANT LOAD:	1150 SF, BUSINESS 1115 SF, ASSEMBLY (WAITING)
MAX. COMMON PATH OF TRAVEL (1006.2.1):	75FT
MAX. TRAVEL DISTANCE (1017.2.1):	200FT

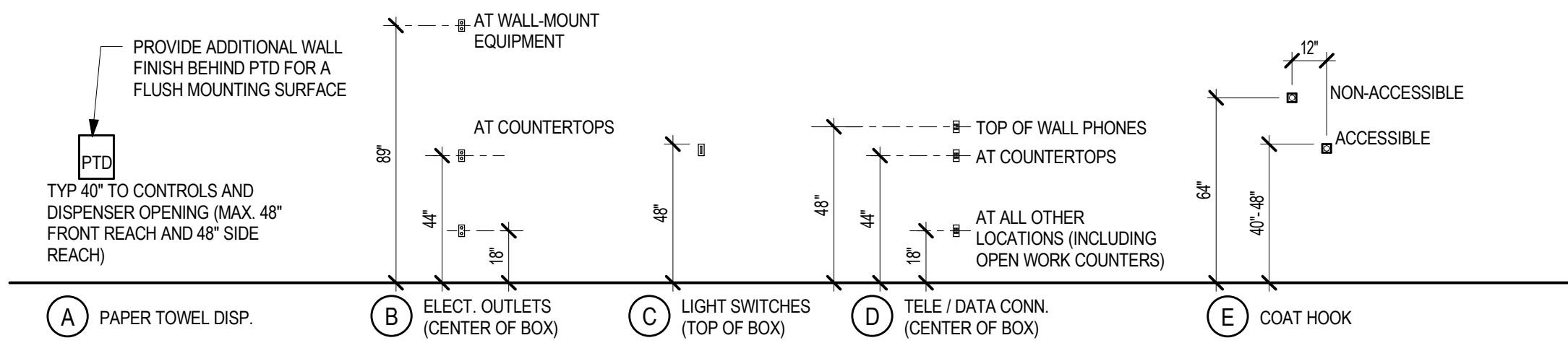
FIRE RESISTIVE RATINGS: (TABLE NO. 601, 705.5 OF THE IRC)	
BUILDING ELEMENT (≥30 SEPARATION)	TYPE V-A
STRUCTURAL FRAME	0 HOUR
BEARING WALLS	
EXTERIOR	0 HOUR
INTERIOR	0 HOUR
NON BEARING WALLS AND PARTITIONS	
EXTERIOR	0 HOUR, IF ≥30 FIRE SEPARATION DISTANCE
INTERIOR	0 HOUR
FLOOR CONSTRUCTION	
INCLUDING SUPPORTING BEAMS AND JOISTS	0 HOUR
NON BEARING WALLS AND PARTITIONS	
INCLUDING SUPPORTING BEAMS AND JOISTS	0 HOUR

GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL TRADES ARE THOROUGHLY FAMILIAR AND COMPLY WITH THE REQUIREMENTS SHOWN HERE.
- ALL RATED ASSEMBLIES SHALL BE CONSTRUCTED TO PREVENT THE MOVEMENT OF FLAME OR GASSES PER CODE.
- INSTALL RATED ENCLOSURES FOR ALL RECESSED ITEMS IN RATED WALLS PER CODE. SEE ARCHITECTURAL DETAILS.
- ALL PENETRATIONS THROUGH RATED ASSEMBLIES IN AREA OF WORK SHALL BE FIRESTOPPED OR SEALED PER CODE.
- THE CONTRACTOR SHALL FIELD VERIFY THE CONDITION OF THE EXISTING FLS SYSTEMS IN THE AREAS OF WORK THAT MAY REQUIRE UPDATING. AREAS INCLUDE (BUT ARE NOT LIMITED TO) THE FOLLOWING:
A. CONTRACTOR TO VERIFY THAT ALL EXISTING PENETRATIONS OF RATED ASSEMBLIES WHICH ARE EXPOSED TO VIEW DURING CONSTRUCTION ARE COMPLIANT WITH CODE REQUIREMENTS.
B. CONTRACTOR TO EXTEND ANY EXISTING WALL (WITHIN THE AREA OF WORK) TO STRUCTURE WHICH IS REQUIRED BY FLS SYSTEMS BUT DOES NOT PRESENTLY EXIST.
C. CONTRACTOR TO VERIFY THAT ALL DUCTWORK PENETRATIONS THROUGH RATED ASSEMBLIES ARE EQUIPPED WITH FIRE AND/OR SMOKE DAMPERS AS REQUIRED BY CODE.
D. VERIFY THAT THE FIRE ALARM, EMERGENCY LIGHTING, AND EMERGENCY POWER IN THE AREA OF WORK CONFORMS TO THE FLS SYSTEMS "ELECTRICAL STANDARDS" SECTION FOR THE OCCUPANCY TYPE INDICATED ON THE FLS PLANS.

LEGEND

ROOM NAME	Occupancy Type	SQ. FT.	Occupancy Calc.	Occupancy Tag
EGRESS TRAVEL DISTANCE				
COMMON PATH OF EGRESS TRAVEL				
CORRIDOR				
FIRE EXTINGUISHER				
EXIT SIGN, (ARROW(S) INDICATES DIRECTION (IF SHOWN))				
OCCUPANT EXIT LOAD				
CUMULATIVE OCCUPANT EXIT LOAD				



- NOTES:
- ALL DIMENSIONS ARE TYPICAL UNLESS NOTED OTHERWISE ON INTERIOR ELEVATIONS.
 - WALL MOUNTED ACCESSORIES SHALL NOT PROJECT MORE THAN 4" FROM FACE OF WALL WHEN LOCATED BELOW 6'-8".
 - NON USED ITEMS ARE HALFTONE.

0 TYPICAL MOUNTING HEIGHTS
1/4" = 1'-0"

SANTIAM ORTHO X-RAY ADDITION

Santiam Hospital and Clinics

1377 N 10th Ave, Stayton, OR 97383

ISSUE DATE: 10/23/2024
REVISIONS:

1 County Comments 01.14.25

FIRE AND LIFE SAFETY -
1ST FLOOR

G1.01

PROJECT NO.: 24023

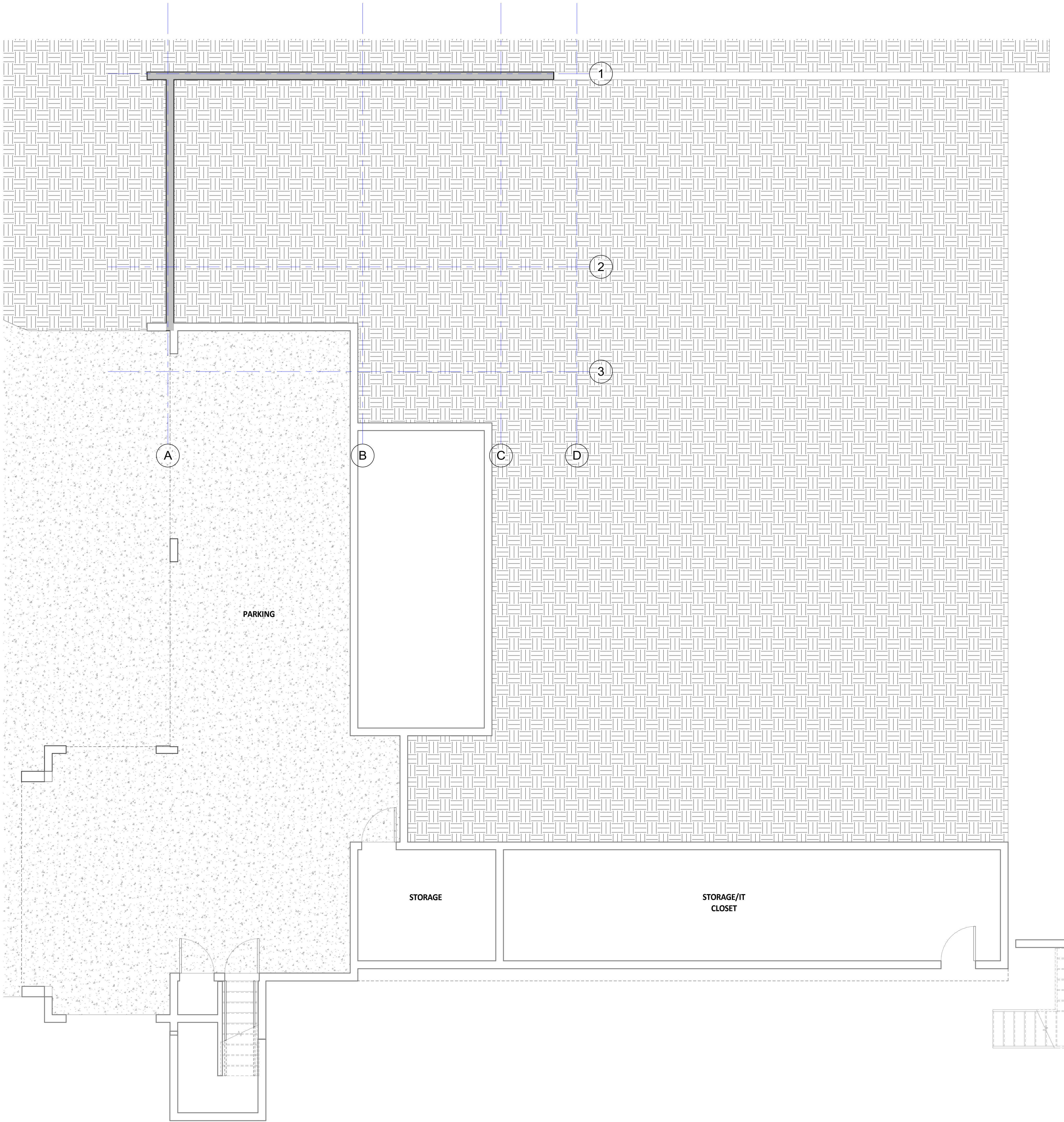
CLARK K J O S
ARCHITECTS, LLC

REGISTERED ARCHITECT
SCOTT D. COMBS
PORTLAND, OREGON
STATE OF OREGON

Phone: 503.224.4848

621 SW Alder St., Suite 700
Portland, OR 97205

CONSTRUCTION DOCUMENTS



CODE SUMMARY

PROJECT NAME:	SANTIAM HOSPITAL ED REMODEL
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OCCUPANT LOAD:	1150 SF, BUSINESS 1115 SF, ASSEMBLY (WAITING)
MAX. COMMON PATH OF TRAVEL (1006.2.1):	75FT
MAX. TRAVEL DISTANCE (1017.2.1):	200FT

FIRE RESISTIVE RATINGS: (TABLE NO. 601, 705.5 OF THE IBC)	
BUILDING ELEMENT (≥30 SEPARATION)	TYPE V-A
STRUCTURAL FRAME	0 HOUR
BEARING WALLS	
EXTERIOR	0 HOUR
INTERIOR	0 HOUR
NON BEARING WALLS AND PARTITIONS	
EXTERIOR	0 HOUR, IF ≥30 FIRE SEPARATION DISTANCE
INTERIOR	0 HOUR
FLOOR CONSTRUCTION	
INCLUDING SUPPORTING BEAMS AND JOISTS	0 HOUR
NON BEARING WALLS AND PARTITIONS	
INCLUDING SUPPORTING BEAMS AND JOISTS	0 HOUR

GENERAL NOTES

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LEGEND

ROOM NAME	
Occupancy Type	SQ. FT.
Occupancy Calc.	SQ. FT.
Occupancy Tag	
	EGRESS TRAVEL DISTANCE
	COMMON PATH OF EGRESS TRAVEL
	CORRIDOR
	FIRE EXTINGUISHER
	EXIT SIGN, ARROW(S) INDICATES DIRECTION (IF SHOWN)
	OCCUPANT EXIT LOAD
	CUMULATIVE OCCUPANT EXIT LOAD

SANTIAM ORTHO X-RAY ADDITION

Santiam Hospital and Clinics

1377 N 10th Ave, Stayton, OR 97383

ISSUE DATE: 10/23/2024

REVISIONS:
2 OHA Response 01.15.25

FIRE AND LIFE SAFETY - BASEMENT

G1.02

PROJECT NO.: 24023



CONSTRUCTION DOCUMENTS

CLARK KLOS ARCHITECTS, LLC
621 SW Alder St., Suite 700
Portland, OR 97205
Phone: 503.224.4848



FGI NOTES

1. REFERENCE Q SERIES SHEETS FOR EQUIPMENT LISTS AND F.G.I. REQUIRED CLEARANCES

2. 6" INTEGRAL BASE TO BE INSTALLED IN ALL HOUSEKEEPING CLOSETS, SOILED HOLD ROOMS, AND TOILET ROOMS, U.N.O.

3. TOP-SET RUBBER OR VINYL WALL BASE, WHERE USED, SHALL BE SEALED TIGHTLY TO THE FLOOR AND WALL.

LEGEND - STC RATINGS

STC 35 - Treatment / Corridor

STC 45 - Toilet / Public Space

STC 50 - Treatment / Treatment

SPACE PROGRAM			
ROOM NUMBER	ROOM NAME	ROOM AREA	FGI PARAGRAPH
119	XRAY ROOM	244 SF	2.1.3.5
119B	ADA CHANGING ROOM	52 SF	2.1.3.5.10.3
119C	CHANGING ROOM	30 SF	2.1.3.5.10.3
120	ADMIN SPACE	341 SF	
129	EVS CL	55 SF	

SANTIAM ORTHO X-RAY ADDITION

Santiam Hospital and Clinics

1377 N 10th Ave, Stayton, OR 97383

ISSUE DATE: 10/23/2024

REVISIONS:

FGI NOTES PLAN

G1.11

PROJECT NO.: 24023

CONSTRUCTION DOCUMENTS



CLARK KJOS
ARCHITECTS, LLC

621 SW Alder St., Suite 700
Portland, OR 97205

Phone: 503.224.4848

PARTITION TYPE NOTES

1. REFER GENERAL INFORMATION SECTIONS FOR GRAPHIC STANDARDS INCLUDING BUT NOT LIMITED TO ABBREVIATIONS, SYMBOLS, PICTURES, DIMENSIONS.

2. REFER TO THE GENERAL NOTES FOR THE SPECIFICATIONS OF THE MATERIALS, FINISHES SPECIFICALLY ALLOWED BY CYSSUM ASSEMBLY, UL, INTERTEC, OR OTHER AHA APPROVED TESTING AGENCY AND WITH WRITTEN APPROVAL, BY THE ARCHITECT.

3. REFER TO THE GENERAL NOTES FOR THE SPECIFICATIONS OF THE ACQUANTINOUS DEEP SEALANT AT THE BASE AND HEAD AT INTERIOR SIDE OF ASSEMBLY.

4. PARTITION TYPE INDICATIONS ARE INDEPENDENT FROM APPLIED FINISHES. REFER TO THE GENERAL NOTES FOR THE SPECIFICATIONS OF THE FINISHES TO BE APPLIED TO THE PARTITION INFORMATION REGARDING APPLIED FINISHES.

5. PARTITION CONSTRUCTION ABOVE AND BELOW INTERIORS (DOORS, WINDOWS, ETC.) SHALL MATCH THE ASSEMBLY AND PLANE OF THE PARTITION IN WHICH THE PARTITION IS BEING APPLIED.

6. MASONRY AND STONE ASSEMBLIES ARE TO HAVE TIES AND HORIZONTAL / VERTICAL REINFORCEMENT PER STRUCTURAL.

7. PARTITION TYPES AND FINISHES ARE TO BE INDICATED. ADDITIONAL AND OR MORE RESTRICTIVE REQUIREMENTS MAY BE NOTICED ELSEWHERE. SUCH REQUIREMENTS MAY INCLUDE BUT ARE NOT LIMITED TO:

8. 1. STUDY THE STUDY DRAWING, UNITS, AND BE REFERENCED BY REFERENCED APPROVAL OR TEST REPORT.

9. 2. WHEN GOLD FORMED METAL FINISH IS USED, USE STUDY GAUGE INDICATED TO MATCH THE STUDY DRAWING. THE FINISH OF THE GAUGE SHALL BE REFERENCED ASSEMBLY OR TEST REPORT SHALL ALWAYS BE MINIMUM GAUGE.

10. 3. USE STANDARDS OF DEPICTION DRAWING BY DRAWINGS, DEPT. STATED BY THE ARCHITECT.

11. 4. HORIZONTAL OR VERTICAL FINISHES ARE TO BE INDICATED.

12. 5. INSTALL CEMENTITIOUS BACKER BOARD OR WATER-RESISTANT GYP. BD. AT THE FOLLOWING LOCATIONS:

13. 6. WALL ENCLOSEMENTS ADJACENT TO JANITOR MOP SINKS.

14. 7. AT WET LOCATIONS, SUCH AS SHOWER STALLS WITH A SURROUND.

15. 8. WHERE CERAMIC TILE FINISHES ARE INDICATED. (REFER FINISH SCHEDULE, PLANS, AND SECTION.)

16. 9. AT OTHER LOCATIONS, AS INDICATED BY THE SPECIFICATIONS OR PER FINISH SCHEDULE.

17. 10. PROVIDE A SOUND-ATTENUATING INSULATION TO THE FULL HEIGHT OF WALL AT ALL TOLLET ROOM WALLS AND SLEEPING AREAS ADJACENT TO ANY TYPE OF SHAL'T OR ANOTHER SLEEPING AREA.

18. 11. IN 3-2-1 C-RATED ASSEMBLIES 3-2-1 C-45-40 IF FIELD TESTED, OR GREATER, ANY OF THE FOLLOWING ARE REQUIRED IN CONSTRUCTION ASSEMBLIES FOR PIPING, ELECTRICAL DEVICES, RECESSED CABINETS, BATHFITS, SPOUTS, OR HEATING, VENTILATING OR EXHAUST DUCTS SHALL BE SEALED, LINED, INSULATED OR QUOTED TO THE ARCHITECT.

19. 12. SOUND-RATED ASSEMBLIES - SOUND CONTROL SYSTEM SHALL BE AIR-TIGHT, ITEMS THAT PENETRATE THE CYSSUM BOARD, SYSTEM SHALL BE BACK-TO-BACK. ORNAMENTAL PENETRATIONS SHALL BE SEALED TO THE SYSTEM. THE SYSTEM SHALL BE SEALED TO THE PROPER SIZE AND SEALED. THE ENTIRE PERIMETER OF A SOUND-INSULATING SYSTEM SHALL BE MADE AIR TIGHT TO PREVENT SOUND FLEAKING. FLEXIBLE SOUND-INSULATING SYSTEM SHALL BE SEALED TO THE SYSTEM. THE SYSTEM SHALL BE SEALED TO THE SYSTEM AND ALL DISJUNCTURAL SURFACES AND ALSO BETWEEN THE SYSTEM AND SIMILAR SURFACES WHERE PERMITTER RELIES IS REQUIRED. TAPING GYP. BD. AND WOOD SHALL BE SEALED TO THE SYSTEM. THE SYSTEM SHALL BE SEALED TO THE SYSTEMS (ASTM E 479, G-1 MANUAL SECTION III). IF ROUGH-IN BOXES ARE LOCATED BACK TO BACK (WITHIN 24" IN ANY DIRECTION OF EACH OTHER) IN AN ACUSTIC ASSEMBLY, THE SYSTEM SHALL BE SEALED TO THE SYSTEM.

20. 13. ALL FIRE-RATED WALLS SHALL HAVE A LEAKAGE RATING.

21. 14. PER 1 A 268 FIRE TESTING SHALL BE REQUIRED FOR FOAM / CLADDING / W.R.B. / A.B. IN THE FIELD.

22. 15. REFER TO STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS, ATTACHMENT, AND EDGE BLOCKING REQUIREMENTS.

23. 16. REFERENCE EMBODIMENT 1000-1000 FOR THICKNESS OF BATT INSULATION. ANY OTHER THICKNESS OF INSULATION IS TO THE FULL EXTENTS OF THE CAVITY AND ALL PENETRATIONS INTO WALLS SHALL BE THERMALLY SEALED. STAGGER SEAMS 24" FROM EACH OTHER. INSTALL CONTINUOUS ACQUANTINOUS SEALANT AT TOP AND BOTTOM OF WALL CONSTRUCTION. INSTALL CONTINUOUS FIRE SEALANT AT TOP AND BOTTOM OF SECOND CYSSUM BOARD LAYER ONLY. WHEN USED TO MAINTAIN RANKINGS.

24. 17. PROVIDE SHEET GUTTER FOR BACKING PLATE, WALL, INTERSECTION, AND HEAD CONDITIONS.

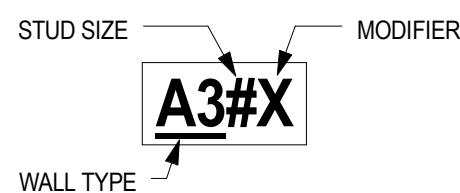
25. 18. GENERAL NOTES ON THIS PAGE DO NOT EXCLUDE NOTES ELSEWHERE. THIS IS A GENERAL NOTE AND NOT A SPECIFICATION. ANY OTHER SHEETS MAY BE BEING / APPLICATION TO WORK SHOW ON THIS SHEET.

GENERAL NOTES: STEEL FRAMING

1. ALL ASSEMBLIES ARE FULL HEIGHT, U.N.O.
2. ALL NON-LOADBEARING METAL WALL FRAMING SHALL BE 20ga (33mie) Or 25ga STUDS U.N.O.
3. PROVIDE 20ga METAL STUD WALL FRAMING AT THE FOLLOWING LOCATIONS:
 - A. DOUBLE STUD JAMB ASSEMBLIES AT OPENINGS.
 - B. FIRST STUD IN THE PARTITION BEYOND THE DOUBLE STUD JAMB ASSEMBLY. LOCATE STUD #9 FROM THE DOUBLE STUD ASSEMBLY.
 - C. STUDS INSTALLED FOR OPENING HEADS BETWEEN DOUBLE STUD JAMB ASSEMBLIES.
 - D. STUDS ON WHICH CEMENTITIOUS BACKER BOARD IS INSTALLED FOR WET AREAS.
- E. STUDS ON WHICH WALL-MOUNTED EQUIPMENT, INCLUDING OWNER-FURNISHED EQUIPMENT, IS TO BE INSTALLED.
- F. STUD INFILL AND SILL TRAC BELOW WINDOW OPENINGS.
- G. WALLS THAT EXCEED THE FOLLOWING HEIGHT LIMITATIONS:
 - A. 2-1/2" METAL STUDS: 10'-0"
 - B. 3-5/8" METAL STUDS: 14'-0"
 - C. 4" METAL STUDS: 15'-0"
 - D. 6" - 8" METAL STUDS: 20'-0"

LEGEND

WALL TAG



MODIFIERS

- A = PROVIDE CONTINUOUS ACOUSTIC BATTS FROM FLOOR TO STRUCTURE ABOVE.**
- B = PROVIDE ABUSE RESISTANT GWB**
- C = PROVIDE 5/8" RESILIENT FURRING CHANNELS OVER FRAMING ON ONE SIDE**
- L = PROVIDE LEAD LINED GYPSUM BOARD- EXTEND 7'-0" AFF MIN SEE PHYSICIST REPORT**
- T = PROVIDE CEMENTITIOUS BACKER BOARD AT TILE FINISHES**
- S = SHEAR WALL FRAME PER STRUCTURAL**

ASSEMBLIES

GA WP 1072 (Generic

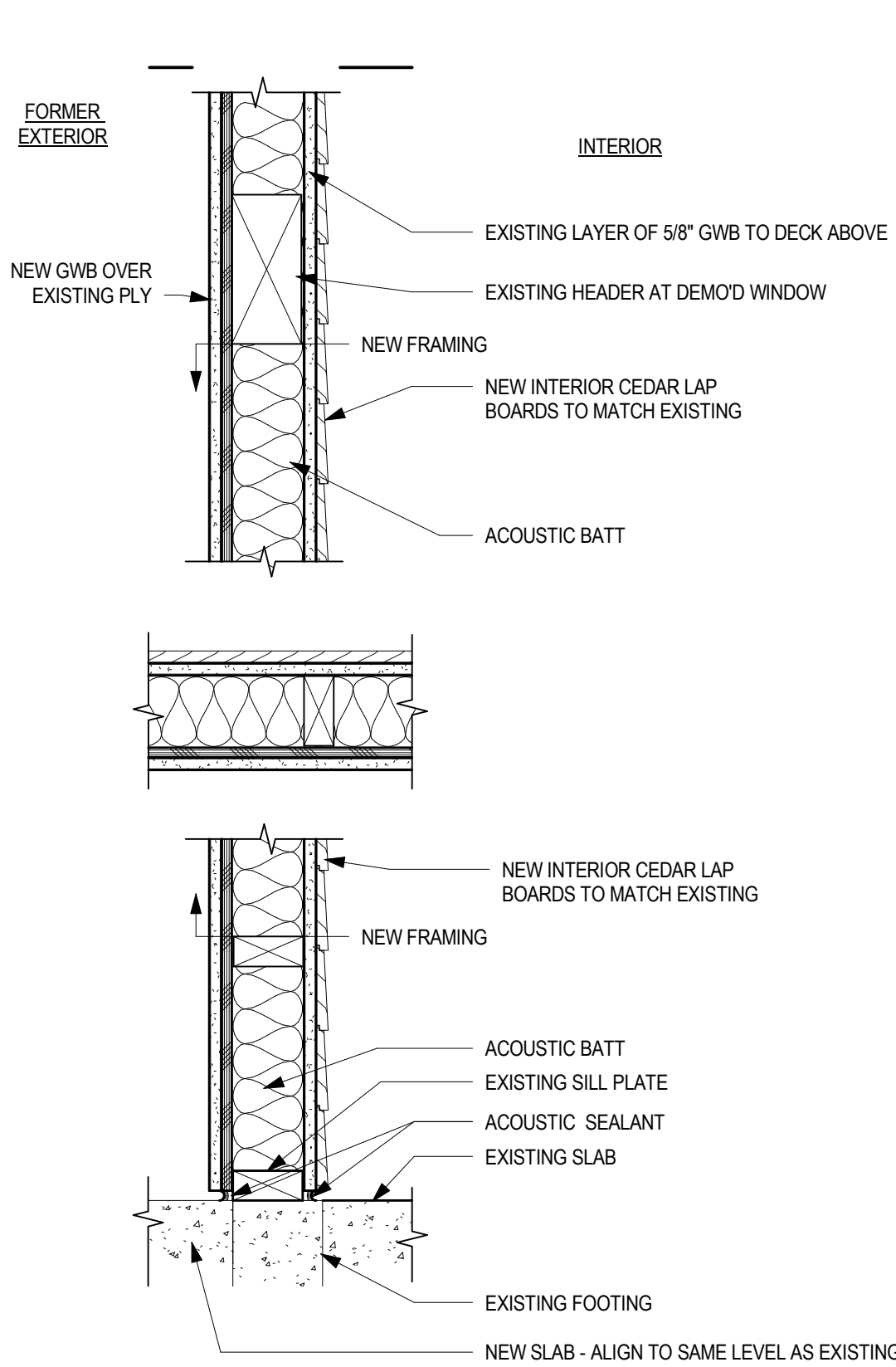
One layer 5/8" type X gypsum wallboard or gypsum veneer applied parallel or at right angles to each side of 3-5/8" steel studs 24" O.C., with 1" type S drywa screws 8" O.C., at vertical joints and 12" O.C., at floor and ceiling runners and intermediate studs.

Joints staggered 24" on each side and on opposite sides. Sound tested with 3 1/2" glass fiber friction fit in stud space.

GA WP 1052 (Generic

One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side of 3-5/8" steel studs 24" O.C., with 1" type S drywall screws 8" O.C., at vertical joints and 12" O.C., at wall perimeter and intermediate studs. Face layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to ONE SIDE with 1 5/8" Type S drywall screws at 12" O.C.

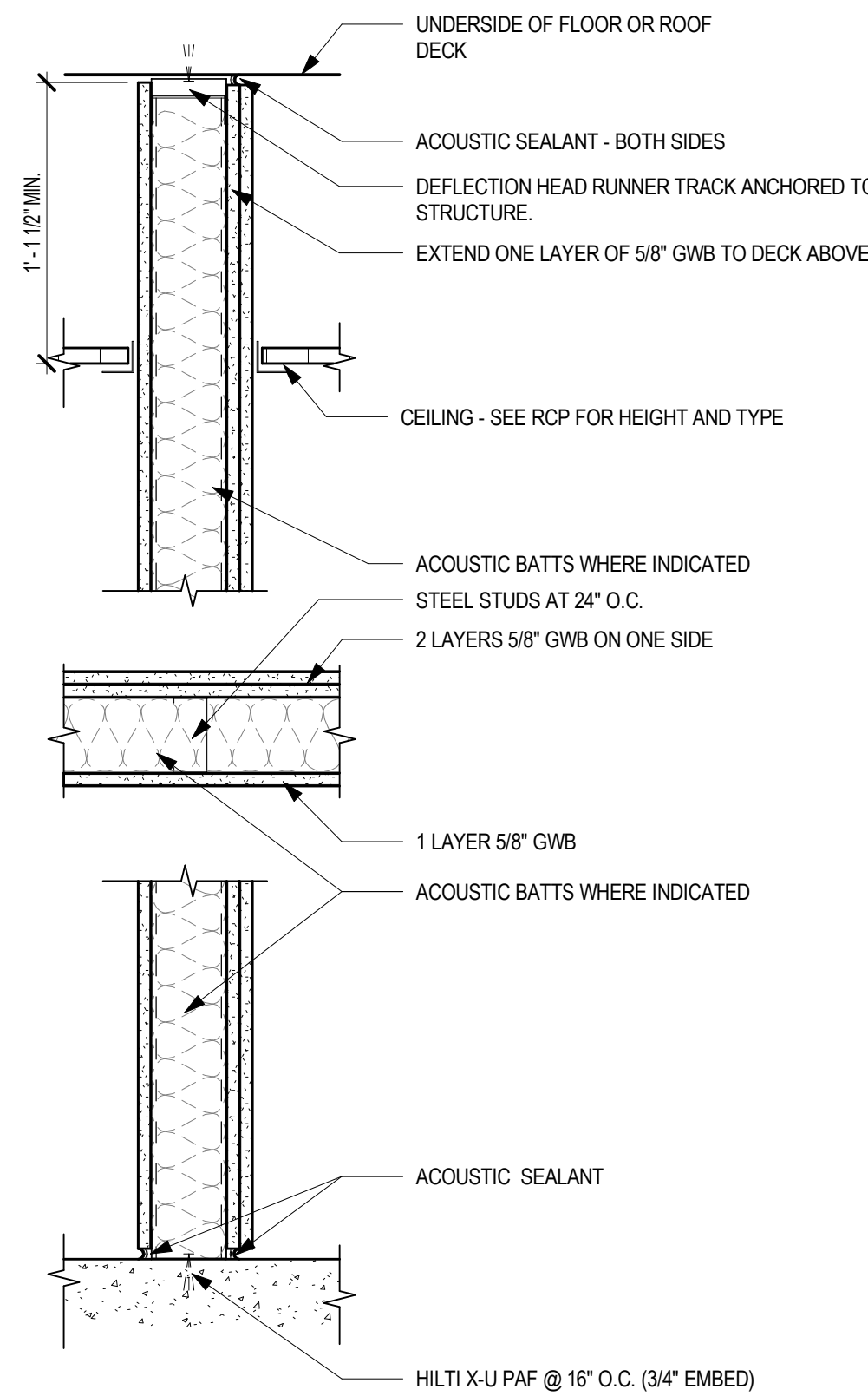
Joints staggered 24" each layer and side. Sound tested with 3 1/2" glass fiber friction fit in stud space.



GA FILE NO WP 1072 (GENERIC)
STC 35-38

STUD SIZE
P23 = 3 5/8"
P26 = 6"

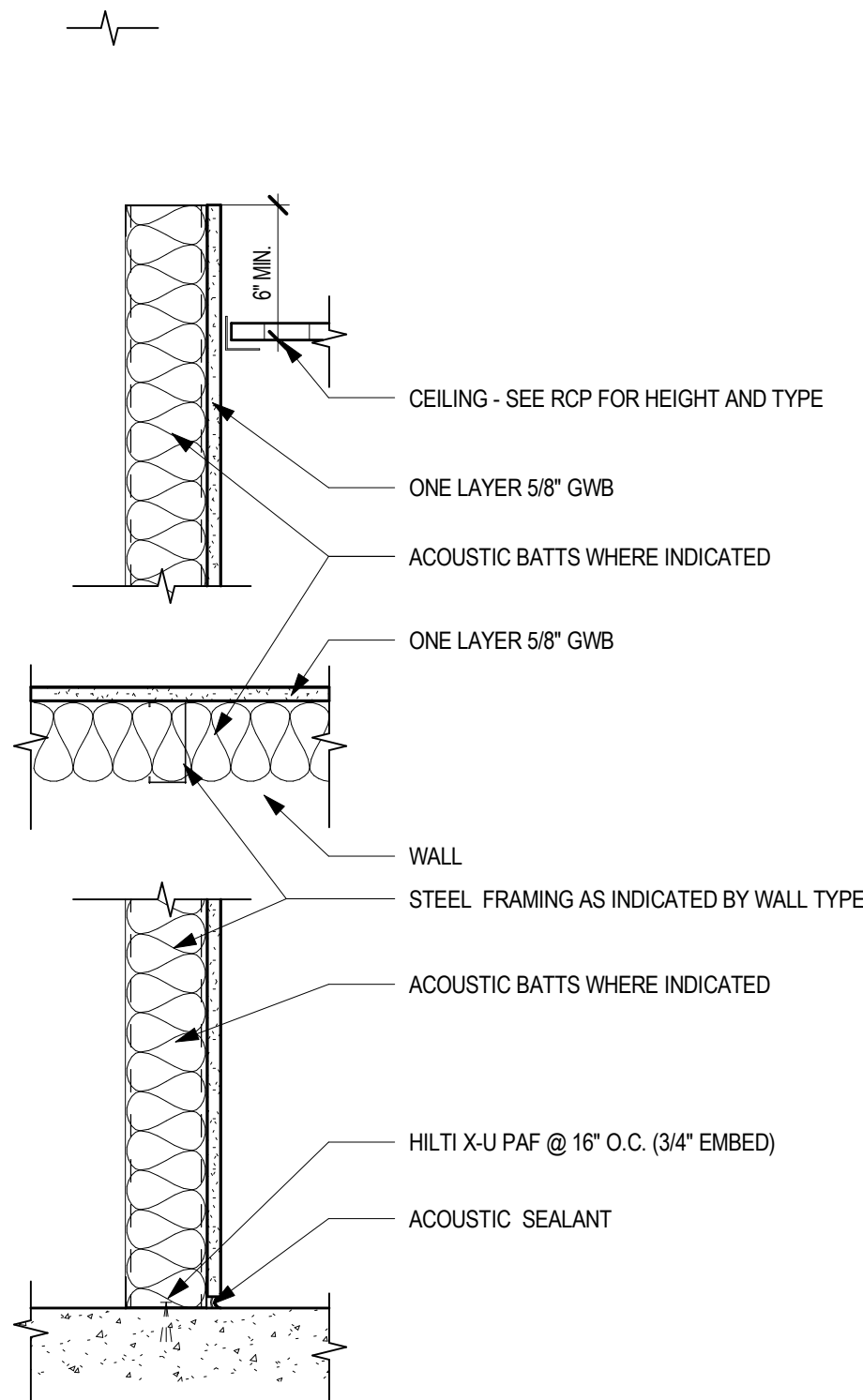
D2 NON-RATED PARTITION TYPE 2



GA FILE NO WP 1052 (GENERIC)
STC 50-54 WITH ACOUSTIC BATTS

STUD SIZE
P43 = 3 5/8"
P46 = 6"

D4 NON-RATED PARTITION TYPE 4



STUD SIZE
F11 = 5/8" R.C.
F12 = 2 1/2"
F13 = 3 5/8"
F16 = 6"

E1 FURRING WALL

DEMOLITION NOTES

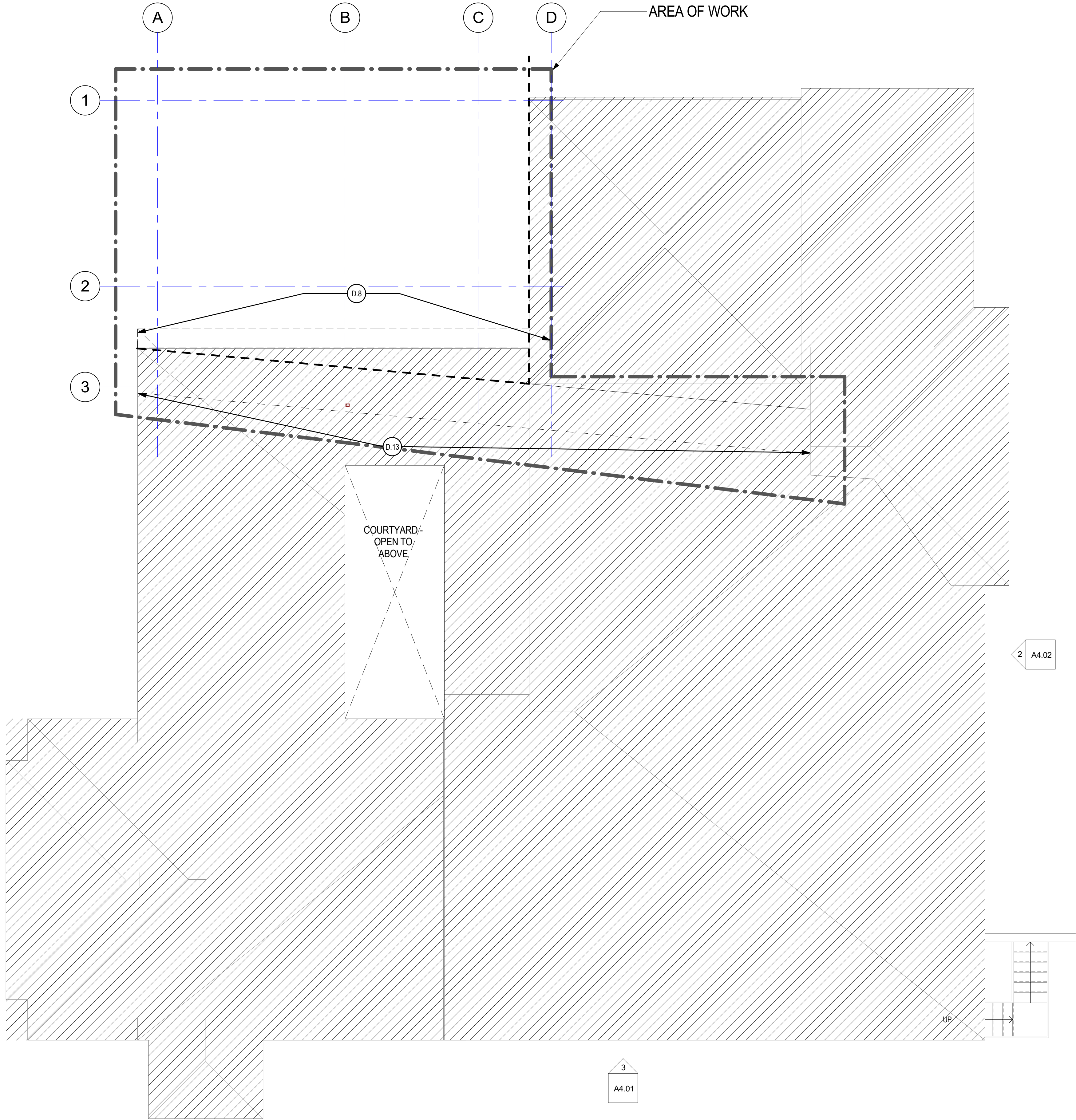
1. DEMOLITION NOTES ARE GENERAL IN NATURE AND IT SHALL BE USED IN CONJUNCTION WITH FULL CONSTRUCTION DOCUMENTS FOR PROPER COORDINATION.
2. CONTRACTOR TO VERIFY DIMENSIONS, MEMBER SIZES, AND LIMITS OF DEMOLITION WORK PER PHASE PRIOR TO COMMENCEMENT OF WORK.
3. DIMENSIONS OF EXISTING CONSTRUCTION INDICATE DESIGN INTENT. CONTRACTOR TO NOTIFY ARCHITECT OF DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS TO ARCHITECT.
4. PRIOR TO DEMOLITION ACTIVITIES, CONTRACTOR SHALL SCHEDULE A WALKTHROUGH WITH OWNER FOR REVIEW OF ITEMS TO BE REMOVED.
5. CONTRACTOR TO COORDINATE ITEMS TO BE SALVAGED AND STORED WITH OWNER.
6. OWNER IS RESPONSIBLE FOR REMOVING FURNITURE AND EQUIPMENT TO BE STORED.
7. ALL AREAS OF DEMOLITION SHALL BE CLEARED OF ITEMS MAJOR AND MINOR TO RECEIVE INSTALLATION OF NEW CONSTRUCTION AND FINISHES.
8. DAMAGE TO ANY ITEM WHICH IS NOT PART OF THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
9. COORDINATE DEMOLITION SCHEDULE AND SHUTDOWNS WITH OWNER PRIOR TO COMMENCEMENT OF WORK.
10. REMOVAL OF HAZARDOUS WASTE PRIOR TO DEMOLITION ACTIVITY TO BE BY OWNER UNDER SEPARATE CONTRACT.
11. IN AREAS OF DEMOLITION WORK REMOVE ALL BUILDING SYSTEMS NOT REUSED, INCLUDING ASSOCIATED MATERIALS AND ACCESSORIES.
12. MAINTAIN FIRE OR ACOUSTICALLY RATED ASSEMBLIES - PATCH AND REPAIR AS NEEDED.
13. LOCATE AND MAINTAIN TEMPORARY LARGE CAPACITY FIRE EXTINGUISHERS FOR DURATION OF CONSTRUCTION. EXTINGUISHER TYPE TO BE A-B-C OR AS REQUIRED BY LOCAL FIRE MARSHAL.
14. REMOVE DEMOLITION WASTE FROM PROJECT SITE DAILY, AND DISPOSE PER APPLICABLE CODES. IF REQUIRED BY LOCAL CODES, CONTRACTOR SHALL RECYCLE DEMOLITION DEBRIS IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION.
15. PROTECT ALL FINISHES TO REMAIN FROM DAMAGE. DAMAGED AREAS SHALL BE REPAIRED AT NO COST TO THE OWNER.
16. PATCH AND PAINT WALLS, FLOORS, AND SUBFLOOR TO MATCH EXISTING WHERE WORK HAS DISTURBED EXISTING CONDITIONS.
17. WHERE DOOR OPENINGS ARE FILLED, REMOVE FRAME AND PATCH WALL TO MATCH ADJACENT SURFACES, U.N.O. ALIGN NEW FINISH FACE WITH ADJACENT U.N.O.

LEGEND

- EXISTING PARTITION INTENDED TO BE REMOVED. VERIFY WITH STRUCTURAL PRIOR TO REMOVAL OF ANY ELEMENT SUSPECTED TO BE LOAD BEARING
- ===== EXISTING PARTITION TO REMAIN

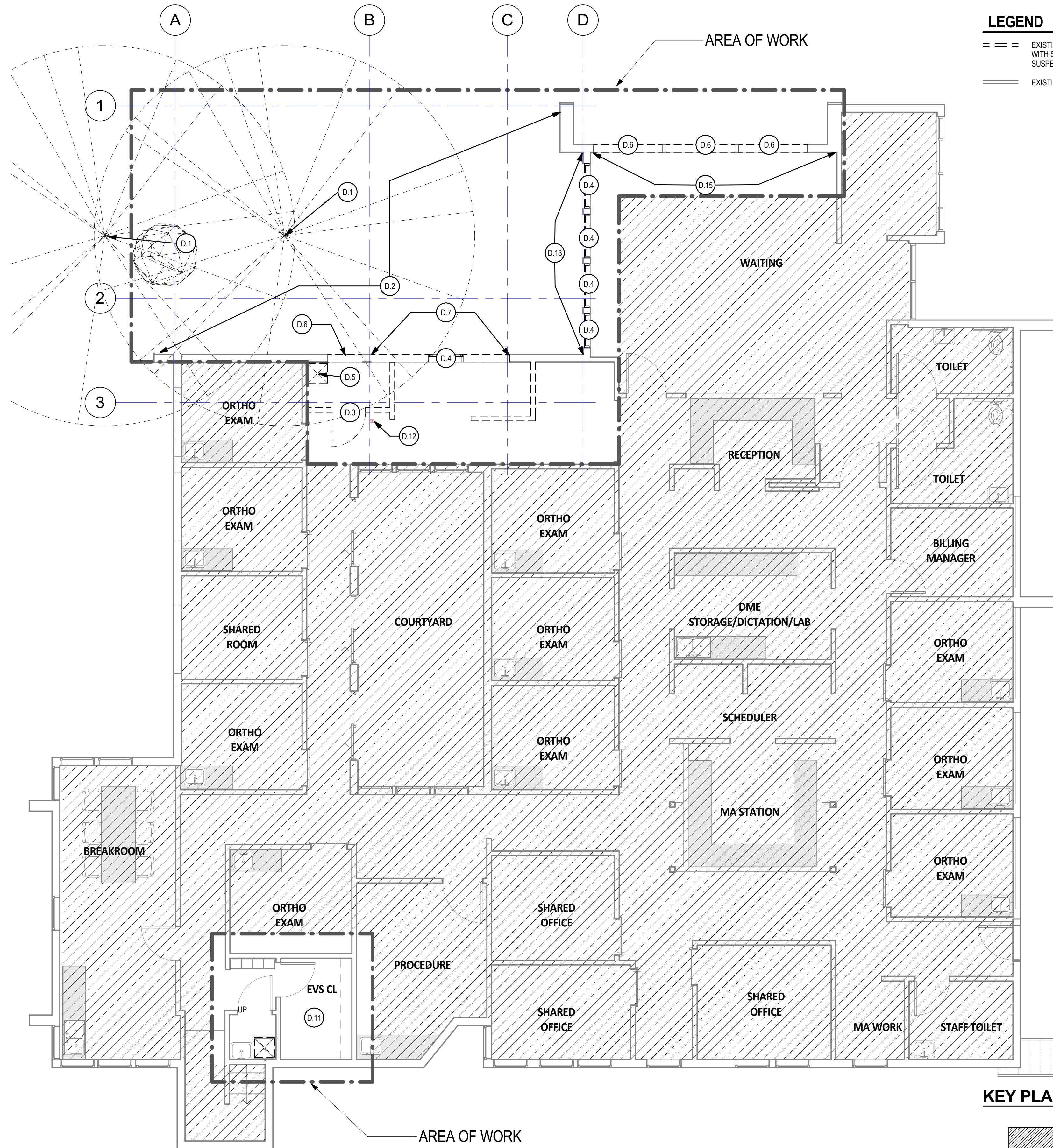
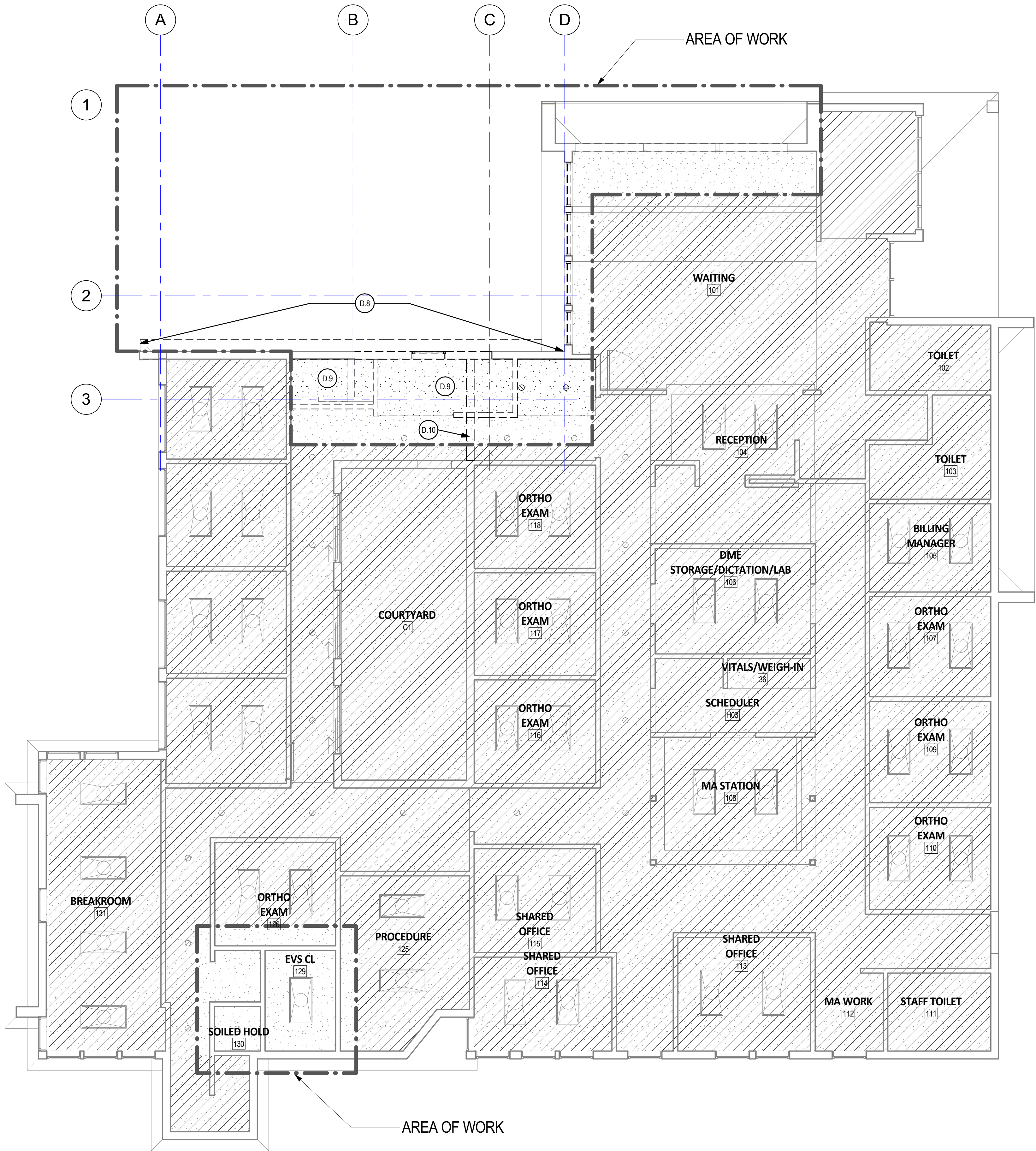
KEYNOTES

- D.8 REMOVE ROOF AND PREP FOR NEW PARAPET WALL
- D.13 REMOVE EXISTING SHINGLES BACK 4'-0" FROM LINE OF NEW AND EXISTING CRICKET



1
D1.01
ORTHO CLINIC DEMOLITION ROOF PLAN
3/16" = 1'-0"

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KEY PLAN

KEYNOTES

- D.1 DEMO EXISTING TREE
- D.2 REMOVE, SALVAGE, AND SAVE SIDING FOR REUSE
- D.3 DEMO DOOR AND FRAME
- D.4 DEMO WINDOW
- D.5 REMOVE AND SALVAGE MOP SINK, DEMO PLUMBING BACK TO SOURCE
- D.6 OPEN WALL FOR NEW WINDOW, WINDOW FRAME AND RELATED APPURTENANCE. SEE ELEVATIONS FOR NEW WINDOWS
- D.7 OPEN WALL FOR NEW ROOM AND CORRIDOR
- D.8 REMOVE ROOF AND PREP FOR NEW PARAPET WALL
- D.9 DEMO CEILING FOR NEW ROOM AND CORRIDOR
- D.10 DEMO EXISTING BEAM, SEE STRUCTURAL DWGS
- D.11 PREPARE WALL AND FLOOR FOR SALVAGED MOP SINK, REMOVE WALL HUNG SHELVES
- D.12 SALVAGE FEC CABINET FOR RE-INSTALLATION
- D.13 REMOVE SIDING AROUND WINDOWS AND PREP FOR NEW LEAD BACKED GYP
- D.15 REMOVE AND SALVAGE SIDING FOR RE-INSTALLATION ON WEST WALL

DEMOLITION NOTES

- DEMOLITION NOTES ARE GENERAL IN NATURE AND IT SHALL BE USED IN CONJUNCTION WITH FULL CONSTRUCTION DOCUMENTS FOR PROPER COORDINATION.
- CONTRACTOR TO VERIFY DIMENSIONS, MEMBER SIZES, AND LIMITS OF DEMOLITION WORK PER PHASE PRIOR TO COMMENCEMENT OF WORK.
- DIMENSIONS OF EXISTING CONSTRUCTION INDICATE DESIGN INTENT. CONTRACTOR TO NOTIFY ARCHITECT OF DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS TO ARCHITECT.
- PRIOR TO DEMOLITION ACTIVITIES, CONTRACTOR SHALL SCHEDULE A WALKTHROUGH WITH OWNER FOR REVIEW OF ITEMS TO BE REMOVED.
- CONTRACTOR TO COORDINATE ITEMS TO BE SALVAGED AND STORED WITH OWNER.
- OWNER IS RESPONSIBLE FOR REMOVING FURNITURE AND EQUIPMENT TO BE STORED.
- ALL AREAS OF DEMOLITION SHALL BE CLEARED OF ITEMS MAJOR AND MINOR TO RECEIVE INSTALLATION OF NEW CONSTRUCTION AND FINISHES.
- DAMAGE TO ANY ITEM WHICH IS NOT PART OF THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- COORDINATE DEMOLITION SCHEDULE AND SHUTDOWNS WITH OWNER PRIOR TO COMMENCEMENT OF WORK.
- REMOVAL OF HAZARDOUS WASTE PRIOR TO DEMOLITION ACTIVITY TO BE BY OWNER UNDER SEPARATE CONTRACT.
- IN AREAS OF DEMOLITION WORK REMOVE ALL BUILDING SYSTEMS NOT REUSED, INCLUDING ASSOCIATED MATERIALS AND ACCESSORIES.
- MAINTAIN FIRE OR ACOUSTICALLY RATED ASSEMBLIES - PATCH AND REPAIR AS NEEDED.
- LOCATE AND MAINTAIN TEMPORARY LARGE CAPACITY FIRE EXTINGUISHERS FOR DURATION OF CONSTRUCTION. EXTINGUISHER TYPE TO BE A-B-C OR AS REQUIRED BY LOCAL FIRE MARSHAL.
- REMOVE DEMOLITION WASTE FROM PROJECT SITE DAILY, AND DISPOSE PER APPLICABLE CODES. IF REQUIRED BY LOCAL CODES, CONTRACTOR SHALL RECYCLE DEMOLITION DEBRIS IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION.
- PROTECT ALL FINISHES TO REMAIN FROM DAMAGE. DAMAGED AREAS SHALL BE REPAIRED AT NO COST TO THE OWNER.
- PATCH AND PAINT WALLS, FLOORS, AND SUBFLOOR TO MATCH EXISTING WHERE WORK HAS DISTURBED EXISTING CONDITIONS.
- WHERE DOOR OPENINGS ARE FILLED, REMOVE FRAME AND PATCH WALL TO MATCH ADJACENT SURFACES, U.N.O. ALIGN NEW FINISH FACE WITH ADJACENT U.N.O.

LEGEND

- EXISTING PARTITION INTENDED TO BE REMOVED. VERIFY WITH STRUCTURAL PRIOR TO REMOVAL OF ANY ELEMENT SUSPECTED TO BE LOAD BEARING
- EXISTING PARTITION TO REMAIN

SANTIAM ORTHO X-RAY ADDITION

Santiam Hospital and Clinics

1377 N 10th Ave, Stayton, OR 97383

ISSUE DATE: 10/23/2024
REVISIONS:

DEMOLITION PLAN -
LEVEL 1

D2.01

PROJECT NO.: 24023

C L A R K K J O S
A R C H I T E C T S

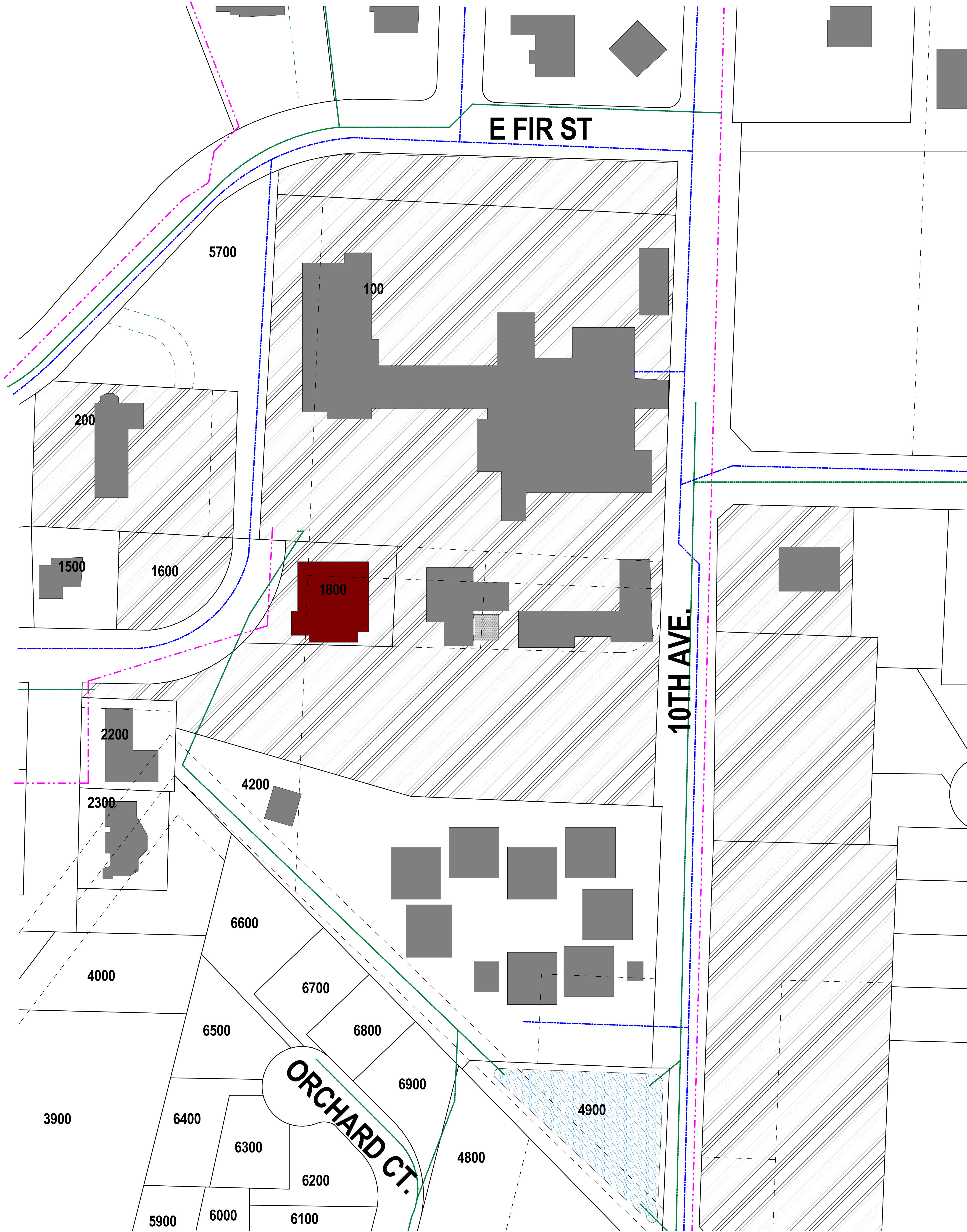
REGISTERED ARCHITECT
SCOTT D. COMBS
ILLUSTRATION
PORTLAND, OREGON
STATE OF OREGON

Phone: 503.224.4848

621 SW Adams St., Suite 700
Portland, OR 97205

CONSTRUCTION DOCUMENTS

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SITE PLAN NOTES
1. TOWNSHIP: STAYTON
2. MAP NUMBER: 09 1W 10AD
3. TAX LOT NUMBER: 1800
4. PROPERTY AREA: 11,573 SF

LEGEND

- PROPERTY LINES
- HISTORICAL BOUNDARY
- WATER LINES
- STORMWATER LINES
- SEWER LINES
- PROJECT SITE
- SURROUNDING BUILDINGS
- BUILDING TO BE DEMOLITIONED
- STORM DETENTION POND
- HOSPITAL OWNED PROPERTIES

SANTIAM ORTHO X-RAY ADDITION

Santiam Hospital and Clinics

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SITE PLAN - PROPERTY FEATURES

A1.01

PROJECT NO.: 24023

CONSTRUCTION DOCUMENTS



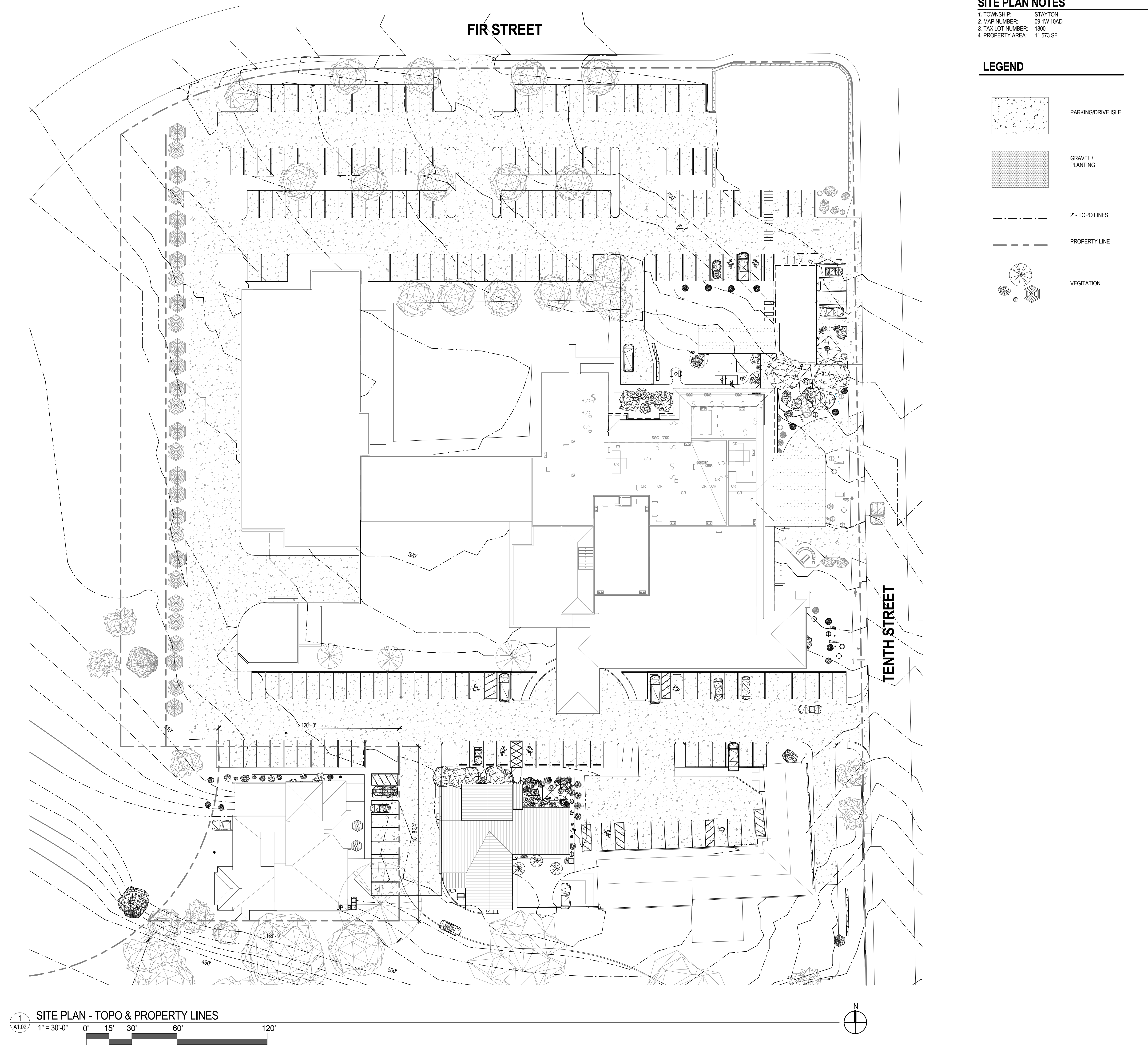
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ARCHITECTS, LLC

621 SW Alder St, Suite 700
Portland, OR 97205

Phone: 503.224.4848

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SANTIAM ORTHO X-RAY ADDITION

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ISSUE DATE: 10/23/2024

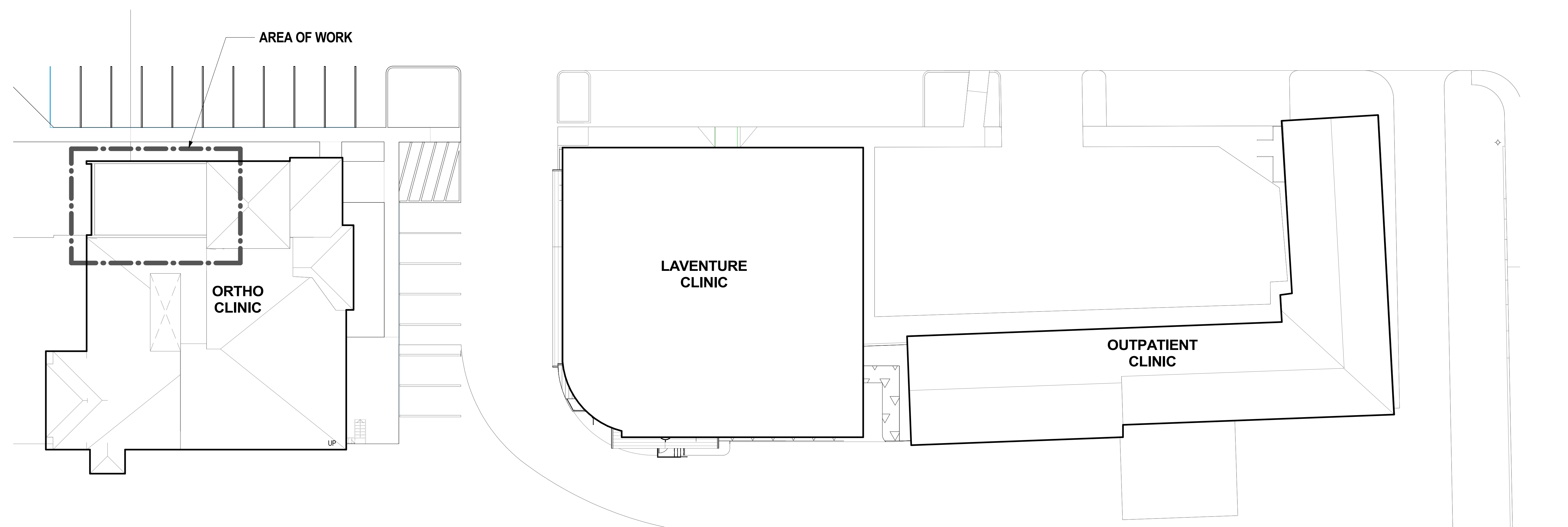
REVISIONS:

SITE PLAN - CONSTRUCTION

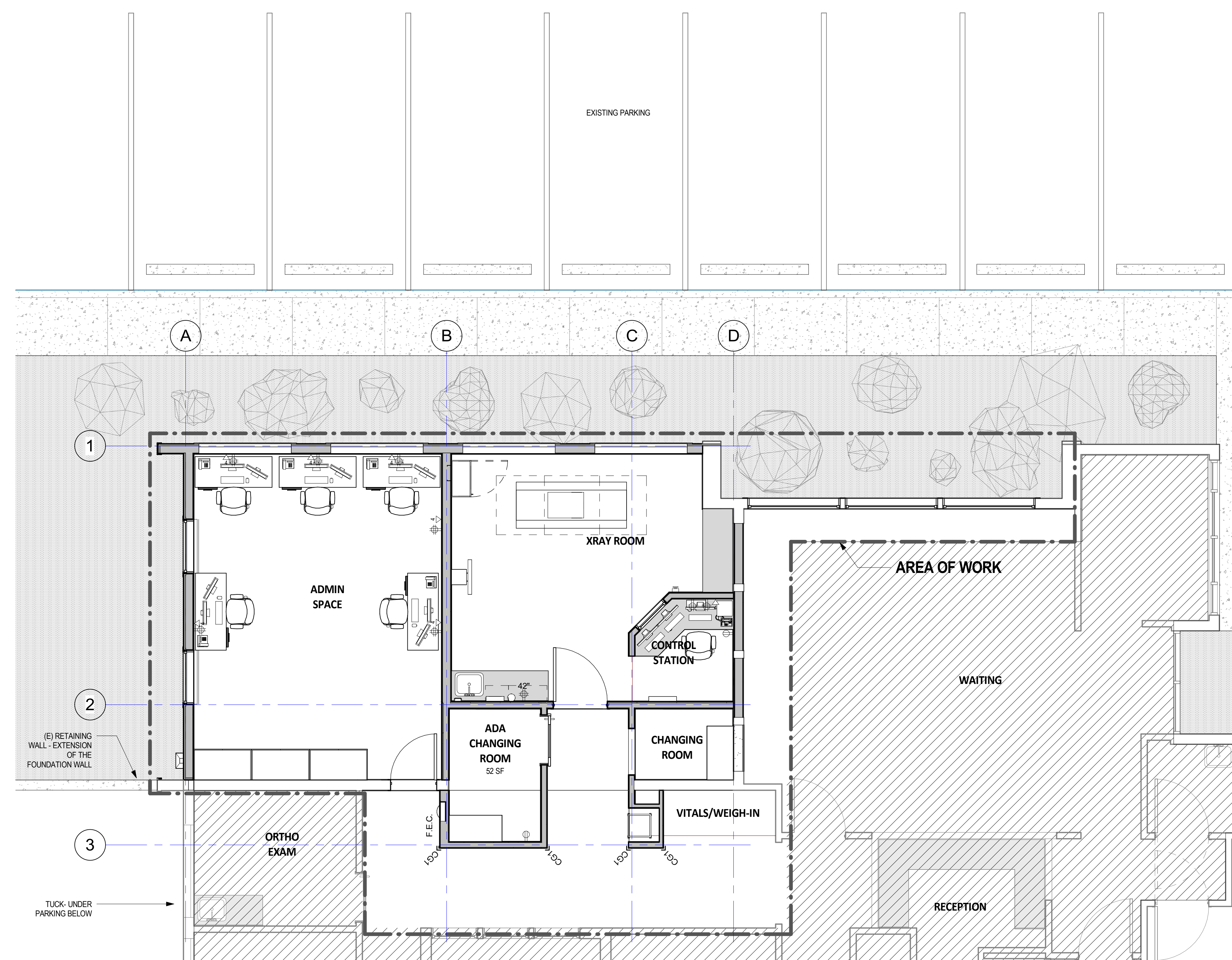
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PROJECT NO.: 24023

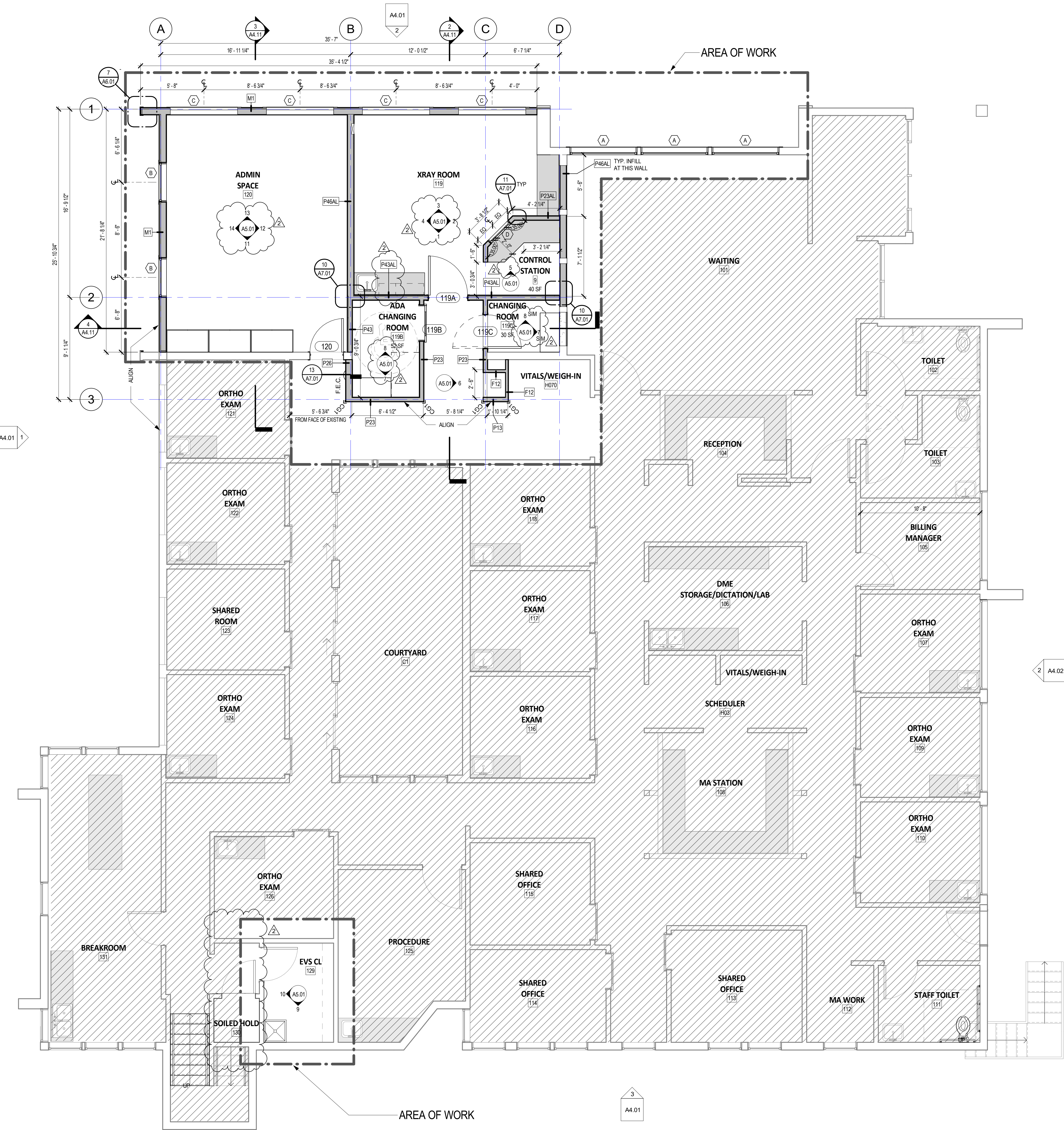
CONSTRUCTION DOCUMENTS



1 SITE PLAN - PARTIAL SANTIAM CAMPUS
A1.03 1/16" = 1'-0"



2 ORTHO CLINIC - PLAN - NORTH
A1.03 1/4" = 1'-0"



1 OVERALL PLAN
A2.01 1/4" = 1'-0"

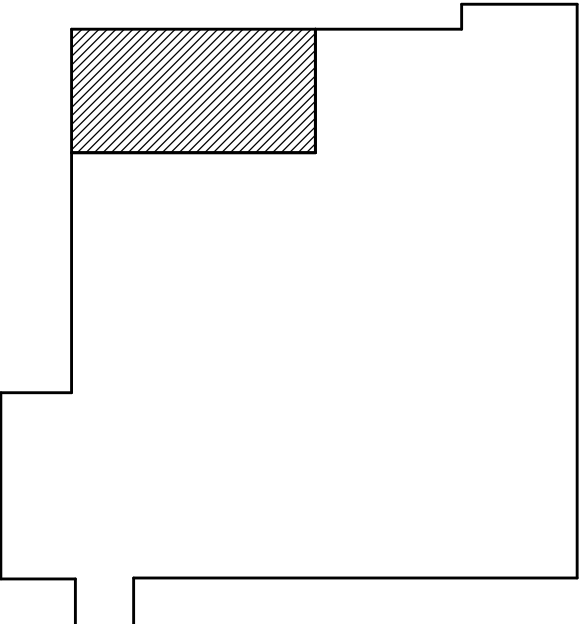
FLOOR PLAN NOTES

1. REFER TO G SERIES FOR ABBREVIATIONS, SYMBOLS AND GENERAL PROJECT NOTES.
2. REFER TO G SERIES FOR SPECIFIC WALL ASSEMBLY INFORMATION.
3. REFER TO ELEVATIONS FOR ACCESSORIES AND EQUIPMENT REQUIRING BLOCKING. WHEN USING METAL STUDS, REFER TO DETAIL SHEETS FOR BLOCKING REQUIREMENTS AND REGULATIONS.
4. REFER TO FINISH PLANS AND CEILING PLANS FOR WINDOW COVERING LOCATIONS AND TYPES.
5. REFER TO STRUCTURAL DRAWINGS FOR SHEAR WALL, HOLD DOWN LOCATIONS, AND BEAM SIZES. NOTIFY ARCHITECT OF ANY CONFLICTS FOR RESOLUTION IN WRITING.
6. REFER TO M.E.P. AND OTHER DISCIPLINES' DRAWINGS FOR ADDITIONAL INFORMATION.
7. ALL DIMENSIONS TO FACE OF STUD, U.N.O.
8. WHETHER NOTED TO VERIFY IN FIELD (V.I.F.) OR NOT, ALL EXISTING CONDITIONS ARE TO BE CONFIRMED. NOTIFY ARCHITECT OF ANY DISCREPANCIES GREATER THAN 1/2" PRIOR TO START OF NEW WORK.
9. FOR FRAMED WALLS, LOCATE HINGE SIDE OF ALL DOORS 4'-1/2" FROM PERPENDICULAR FRAMING U.N.O.
10. GUARDRAILS & HANDRAILS ARE TO BE PREFABRICATED SYSTEMS INSTALLED PER MANUFACTURER'S INSTRUCTIONS TO WITHHOLD A MINIMUM OF 250 POUNDS OF SIDELOAD PRESSURE.
11. PROVIDE CORNER GUARDS AT ALL EXPOSED GYPSUM BOARD OUTSIDE CORNERS IN PUBLIC AREAS.

LEGEND

- EXISTING PARTITION
- NEW PARTITION - NOTE ACOUSTICAL AND OTHER REQUIREMENTS - SEE PARTION SCH.
- OUTSIDE OF SCOPE

KEY PLAN



SANTIAM ORTHO X-RAY ADDITION

Santiam Hospital and Clinics

1377 N 10th Ave, Stayton, OR 97383



CLARK KLOS ARCHITECTS
621 SW Alder St, Suite 700
Portland, OR 97205
Phone: 503.224.4848

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2 OHA Response 01.15.25

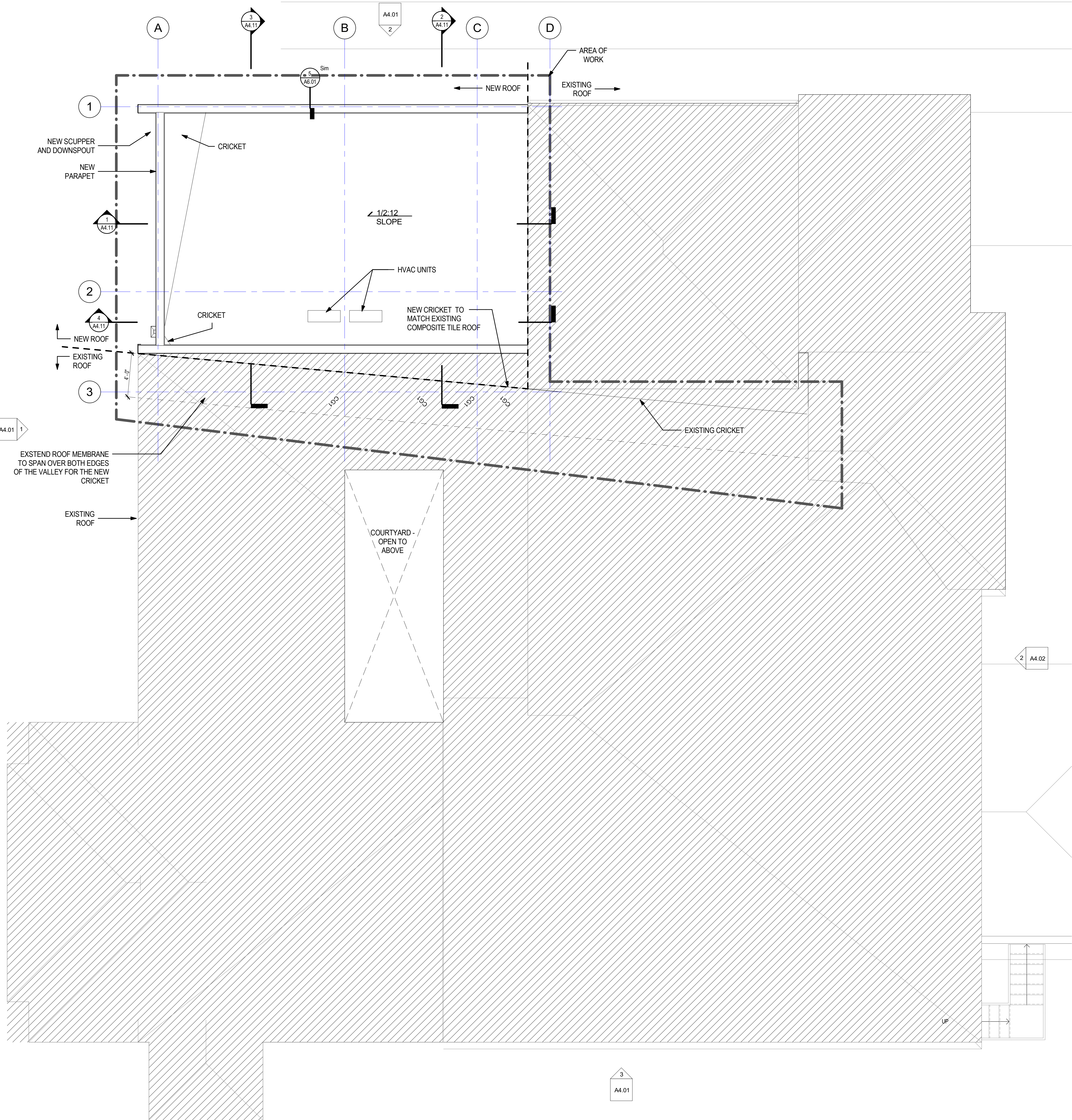
OVERALL PLAN

A2.01

PROJECT NO.: 24023

CONSTRUCTION DOCUMENTS

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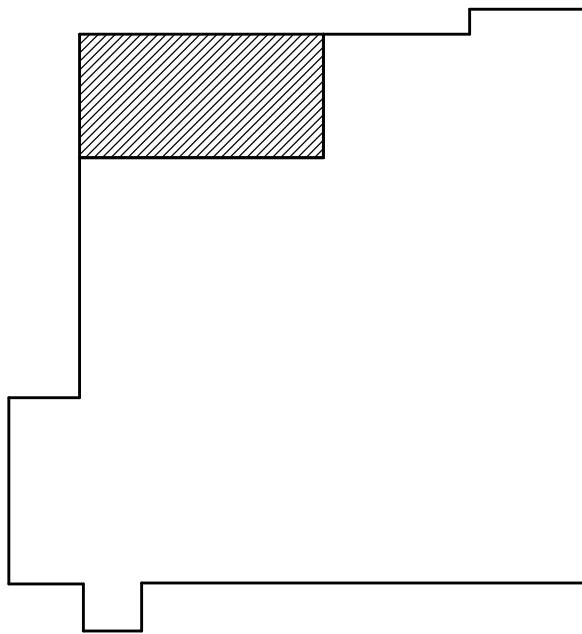


1 ORTHO CLINIC ROOF PLAN - NEW & EXISTING
A2.02 1/4" = 1'-0"

GENERAL NOTES: ROOF

1. REF. MECHANICAL AND ELECTRICAL FOR ADDITIONAL ITEMS TO BE ACCOMMODATED IN THE ROOF COVERING.
2. NRCA STANDARDS TO BE FOLLOWED.
3. REFER TO G01.01 FOR ABBREVIATIONS, SYMBOLS AND GENERAL PROJECT NOTES.
4. FOR TYPICAL ROOF ASSEMBLIES REFER TO A6 SERIES.
5. ROOF COLOR TO BE SELECTED BY ARCHITECT FROM MANUFACTURERS STANDARD SELECTION.
6. FOR SINGLE PLY MEMBRANE ROOFS:
 - A. UNLESS NOTED OTHERWISE BY M.A.N.E. INSTALL ROOFING MEMBRANE SHEETS PARALLEL WITH SLOPE.
 - B. ALL CRICKETS SHALL BE 1/2" PER FT MIN SLOPE TO DRAIN. ROOF PLAN SHOWS CRICKETS AND TAPERED INSULATION IN T.S. FOR GRAPHIC PURPOSES TO SHOW SLOPE AND LOCATION. VERIFY INSULATION OR FRAMING REQUIRED TO MAINTAIN SLOPE, PRIOR TO INSTALLATION.
 - C. PROVIDE CONTINUOUS 36" WIDE WALKWAY PADS AT SERVICE SIDE OF ALL MECH EQUIPMENT AND AT ALL ROOF HATCHES, WITH 2" SEPARATION BETWEEN PADS.
 - D. PROVIDE TAPERED INSULATION CRICKETS AT HIGH SIDE OF ALL MECH UNITS, AND AT ALL MISC ROOF PENETRATIONS, BOXED VENTS, ETC. TO INSURE POSITIVE ROOF DRAINAGE.
7. STRUCTURAL SLOPES ARE SHOWN FOR GENERAL CONCEPT ONLY. EXACT T.O.S./B.O.D. ELEVATIONS PER STRUCTURAL DRAWINGS WHERE ROOF SLOPE EXCEEDS 1/2" PER FOOT.
8. ALL VALLEYS SHALL HAVE A MIN. OF 3/8" - 1/2" SLOPE U.N.O.
9. ALL EXPOSED METAL FLASHING TRIM PIECES SHALL BE PREFINISHED GALVANIZED STEEL U.N.O. PAINT EXPOSED METAL/ FLASHING TRIM AND MISC. STEEL PIECES THAT ARE NOT PREFINISHED. COLOR TO MATCH EXTERIOR ELEVATIONS.
10. PROVIDE PENETRATION FLASHING FOR ALL ROOF TOP EQUIPMENT, CONDUIT, AND PIPING. FLASHING AND STRIPPING MATERIALS, AUXILIARY MEMBRANES, INSULATION AND ROOFING ACCESSORIES SHOULD REFER TO ROOFING SYSTEM MANUFACTURER RECOMMENDATIONS FOR STRIPPING, FLASHING, INSULATION, ACCESSORY COMPATIBILITY ROOFING MEMBRANE SYSTEM.
11. MIN. 2x NOMINAL P.T. WOOD BLOCKING AT ROOF EDGES, RIDGES, ETC. PROVIDE BLOCKING PER DETAIL DIMENSIONS. REF ROOFING M.A.N.E. RECOMMENDATIONS.
12. REFER TO DRAINAGE CALCULATIONS FOR GUTTER, D.S. SIZES AND PROFILES. CALCULATIONS BASED ON 100 YR. EVENT.
13. ALL GUTTERS WHERE USED SHALL BE PREFINISHED, FULLY WELDED GALV. STEEL, SIZED PER DRAWINGS. TEST ALL GUTTERS AS SPECIFIED. COORD. W/ ARCHITECT.
14. GUTTER HANGERS WHERE USED SHALL BE GALV. STL. BENT PLATE BRACKETS W/ 1" GALV SPACERS AT 36" O.C. MAX. STAGGER W/ EACH OTHER AT 18" O.C. PROVIDE PREFINISHED GUTTER EXPANSION JOINTS PER MANUFACTURER.
15. WHERE INDICATED- LOCATE SCUPPERS PER EXTERIOR ELEVATIONS COORD. W/ MASONRY COURSING IF LOCATED WITHIN C.M.U. ASSEMBLY.
16. MAINTAIN MIN. 25 FT. CLEAR BETWEEN EXHAUST FANS, WASTE VENTS AND MAKE-UP AIR INTAKES. FIELD VERIFY AND COORDINATE WITH STEEL CONTRACTOR PRIOR TO SETTING UNITS.
17. PROVIDE CORROSION RESISTANT INSECT SCREEN AT ALL VENTILATION.
18. MAINTAIN MIN. 12" CLEAR BETWEEN ALL ROOF PENETRATIONS. PROTECT ALL PENETRATIONS FROM WEATHER UNTIL RELATED SYSTEM ARE COMPLETELY INSTALLED.
19. MAINTAIN ROOF FIRE RATING PER DRAWINGS.
20. VENTING OF CONCEALED SPACES PER WALL SECTIONS AND DETAILS.
21. USE ROOF MANUFACTURERS STANDARD ROOF CURBS AND PENETRATION DETAILS FOR TYPICAL CONDITIONS. EQUIPMENT LOCATIONS, WEIGHT, AND ADDITIONAL INFO PER M.E.P. DOCUMENTS. COORDINATE FINAL SIZE W/ M.E.P. CONTRACTOR.
22. PROVIDE SUPPORTS AND FLASHING AT GAS PIPING PER DRAWINGS.
23. PROVIDE CURBS AND SUPPORTS FOR ROOF TOP MECH EQUIPMENT, INCLUDING BUT NOT LIMITED TO R.T.U.'S, CONDENSERS, AND FANS REFER STRUCTURAL AND M.E.P. DOCUMENTS.
24. SUPPLY AND RETURN TO MECHANICAL UNITS TO BE CLEAR OF OBSTRUCTION AT ALL TIMES.
25. M.E.P. ROOF EQUIPMENT SHOWN FOR REFERENCE AND COORDINATION ONLY REFER TO M.E.P. CONSTRUCTION DOCUMENTS FOR ROOF TOP EQUIPMENT SCOPE. REFER TO STRUCTURAL DRAWINGS FOR EQUIPMENT SUPPORT.
26. REFER TO PLUMBING DRAWINGS FOR ROOF DRAIN LEADERS, DISCHARGE, AND/OR CONNECTION TO STORM WATER SYSTEM.
27. GENERAL NOTES ON THIS PAGE DO NOT EXCLUDE NOTES ELSEWHERE. THIS DOCUMENT SET IS COMPLIMENTARY. NOTES ON OTHER SHEETS MAY HAVE BEARING/ APPLICATION TO WORK SHOWN ON THIS SHEET.

KEY PLAN



SANTIAM ORTHO X-RAY ADDITION

Santiam Hospital and Clinics

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ISSUE DATE: 10/23/2024
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ROOF PLAN

A2.02

PROJECT NO.: 24023

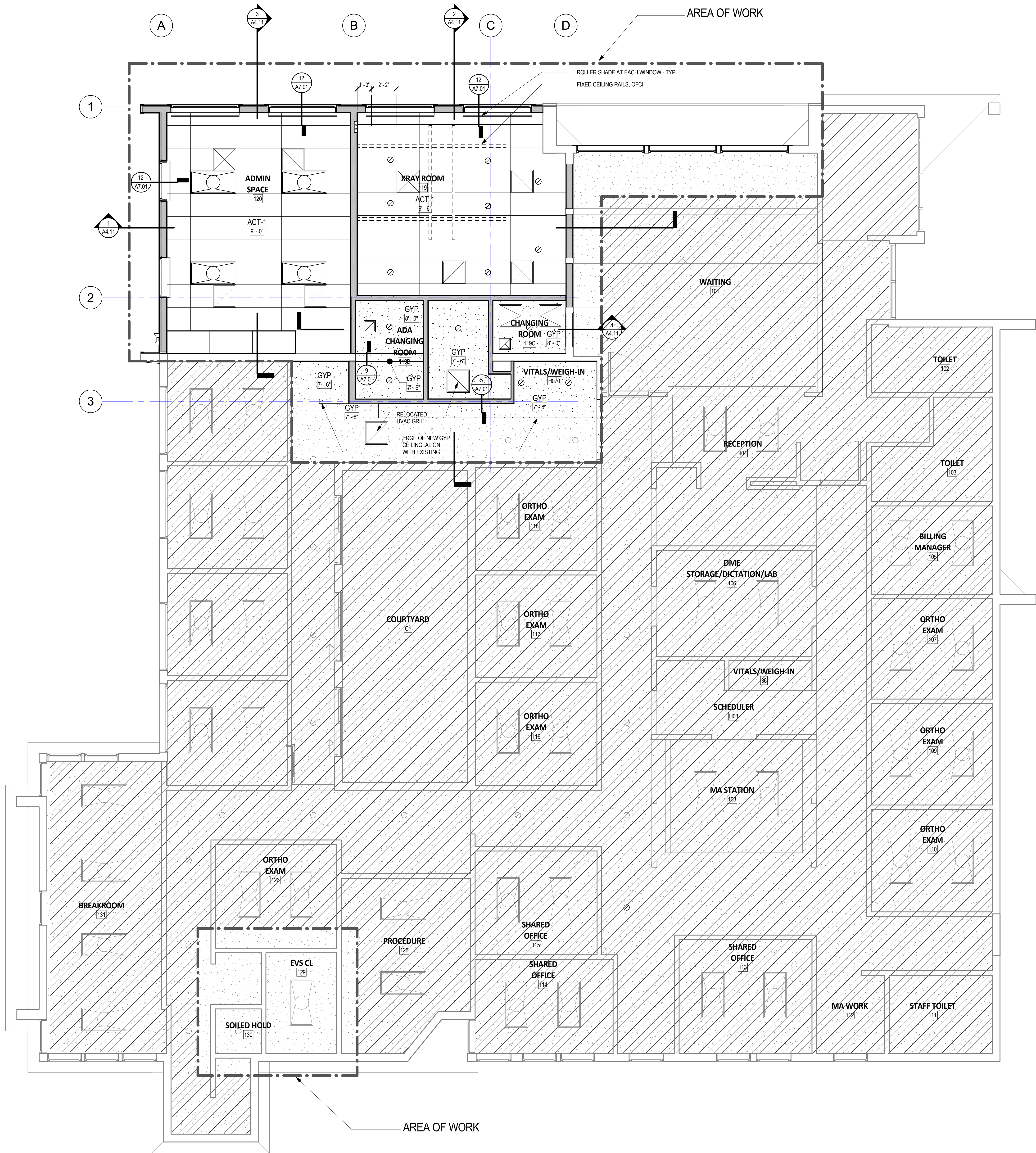


CLARK KLOS ARCHITECTS, LLC

621 SW Alder St., Suite 700
Portland, OR 97205

Phone: 503.224.4848

CONSTRUCTION DOCUMENTS



1 REFLECTED CEILING PLAN
A3.01 1/4" = 1'-0"

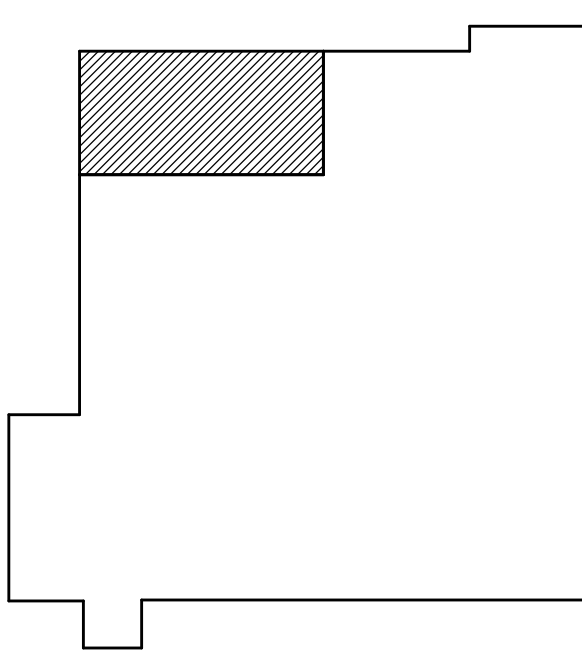
GENERAL NOTES - RCP

- SEE FLOOR PLAN FOR PARTITION TYPES AND PARTITION TYPE REFERENCES FOR TOP OF WALL CONDITIONS
- ALL CEILING HEIGHTS ARE RELATIVE TO TOP OF SLAB OR SUBFLOOR, UNLESS NOTED OTHERWISE
- SEE ELECTRICAL AND MECHANICAL PLANS FOR LOCATIONS OF FIXTURES AND EQUIPMENT
- FIELD VERIFY EXISTING CEILING LAYOUTS PRIOR TO ANY WORK
- SUSPENSION SYSTEMS FOR NEW AND EXISTING SUSPENDED GYPSUM BOARD CEILINGS SHALL BE MODIFIED TO FRAME AROUND CEILING INSTALLED ITEMS. SEE MECHANICAL AND ELECTRICAL DRAWINGS.
- INSTALL BLOCKING AND BACKING FOR WINDOW COVERING TRACKS.
- REMOVE EXISTING CEILINGS WHERE NEW CEILINGS ARE SHOWN TO BE INSTALLED.
- FOR TOP OF WALL DETAILS AND HEIGHT OF GYP BOARD ON WALLS, SEE PLANS, PARTITION TYPES, AND DETAILS.
- RECESSED FIXTURES ARE TO MAINTAIN RATINGS WHERE LOCATED IN RATED CEILING ASSEMBLIES.

LEGEND

- 11 9'-0" CEILING MATERIAL
- CEILING TAG
- CEILING HEIGHT
- GYPSUM BOARD CEILING
- ACT-1: 2x4"
- 2 x 4 DROP-IN FIXTURE - LED DIMMABLE, SIMILAR TO CONFERENCE ROOM IN HOSPITAL
- RECESSED DOWNLIGHT

KEY PLAN



SANTIAM ORTHO X-RAY ADDITION

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1377 N 10th Ave, Stayton, OR 97383

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REFLECTED CEILING PLAN

A3.01

PROJECT NO.: 24023

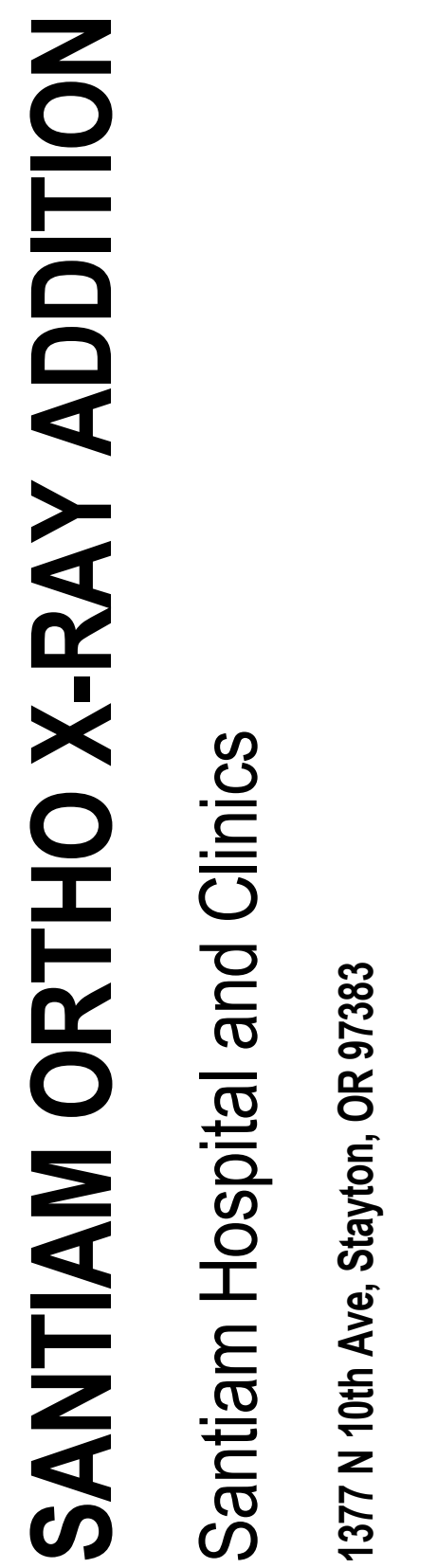
CONSTRUCTION DOCUMENTS



C L A R K K J O S S
A R C H I T E C T S, L L C

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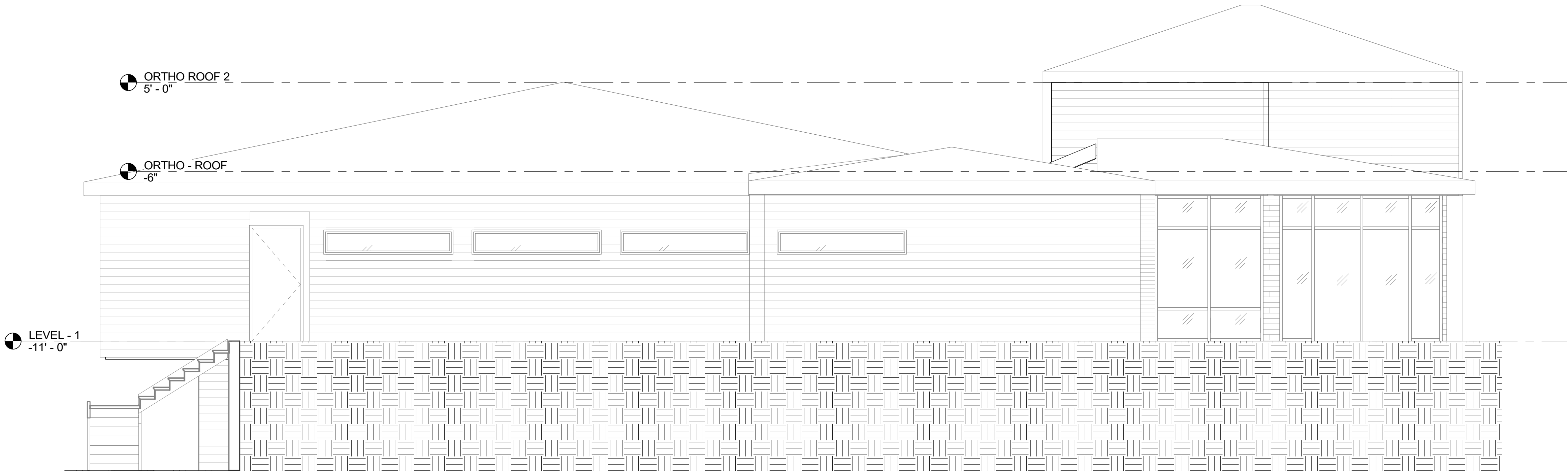
1. REFER TO G SHEETS FOR ABBREVIATIONS, SYMBOLS AND GENERAL PROJECT NOTES.
2. LOCATIONS OF DOORS, WINDOWS AND WALLS ARE PER PLAN. REFER TO SCHEDULES FOR ADDITIONAL INFO.
3. COORDINATE ALL CONTROL, JOINT LOCATIONS WITH ARCHITECT PRIOR TO INSTALL.
4. AT JOINTS BETWEEN DISSIMILAR MATERIALS, PROVIDE CONTINUOUS MIN. 3" BACKER ROD AND SEALANT.
5. ALL EXTERIOR FINISHES SHALL TERMINATE AT INTERIOR CORNERS U.N.O.
6. COORDINATE WITH ARE TEAM TO NEEDS FOR LOCATIONS AND HEIGHTS OF EXTERIOR LOUVERS, HORNS, LIGHT FIXTURES, FIRE EXTINGUISHERS, OR OTHER DEVICES AS LISTED ON PLANS AND NOTES PRIOR TO INSTALL.
7. EXTERIOR SOFFIT FINISH IS TO MATCH FASCIA U.N.O.
8. REF. MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR WALL PENETRATIONS AND ITEMS TO BE ACCOMMODATED ON THE EXTERIOR.



CONSTRUCTION DOCUMENTS

A4.01

PROJECT NO.: 24023



2 ORTHO EXPANSION ELEVATION- EAST
A4.02 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES

1. REFER TO G SHEETS FOR ABBREVIATIONS, SYMBOLS AND GENERAL PROJECT NOTES.
2. LOCATIONS OF DOORS, WINDOWS AND WALLS ARE PER PLAN. REFER TO SCHEDULES FOR ADDITIONAL INFO.
3. COORDINATE ALL CONTROL JOINT LOCATIONS WITH ARCHITECT PRIOR TO INSTALL.
4. AT JOINTS BETWEEN DISSIMILAR MATERIALS, PROVIDE CONTINUOUS MIN. 38" BACKER ROD AND SEALANT.
5. ALL EXTERIOR FINISHES SHALL TERMINATE AT INTERIOR CORNERS U.N.O.
6. COORDINATE WITH A/E TEAM AS NEEDED FOR LOCATIONS AND HEIGHTS OF EXTERIOR LOUVERS, HORNS, LIGHT FIXTURES, FIRE ALARM DEVICES, OR OTHER DEVICES AS LISTED ON PLANS AND NOTES PRIOR TO INSTALL.
7. EXTERIOR SOFFIT FINISH IS TO MATCH FASCIA U.N.O.
8. REF. MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR WALL PENETRATIONS AND ITEMS TO BE ACCOMMODATED ON THE EXTERIOR.



SANTIAM ORTHO X-RAY ADDITION

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BUILDING ELEVATIONS

A4.02

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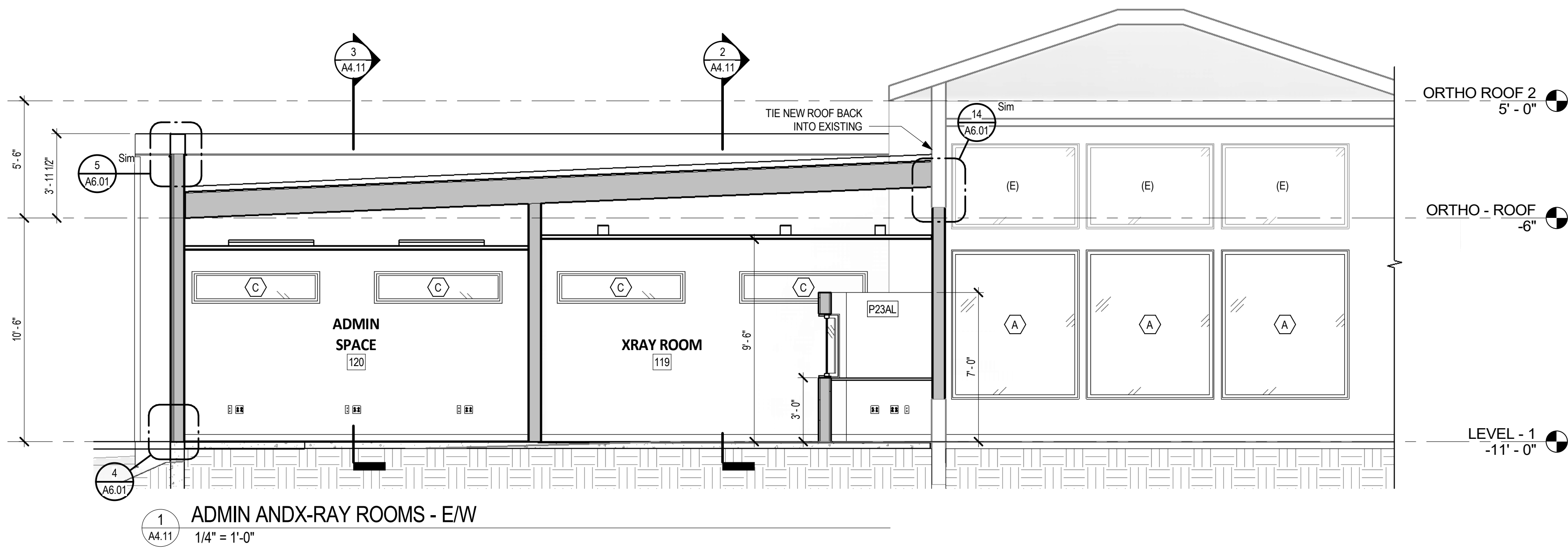
CONSTRUCTION DOCUMENTS

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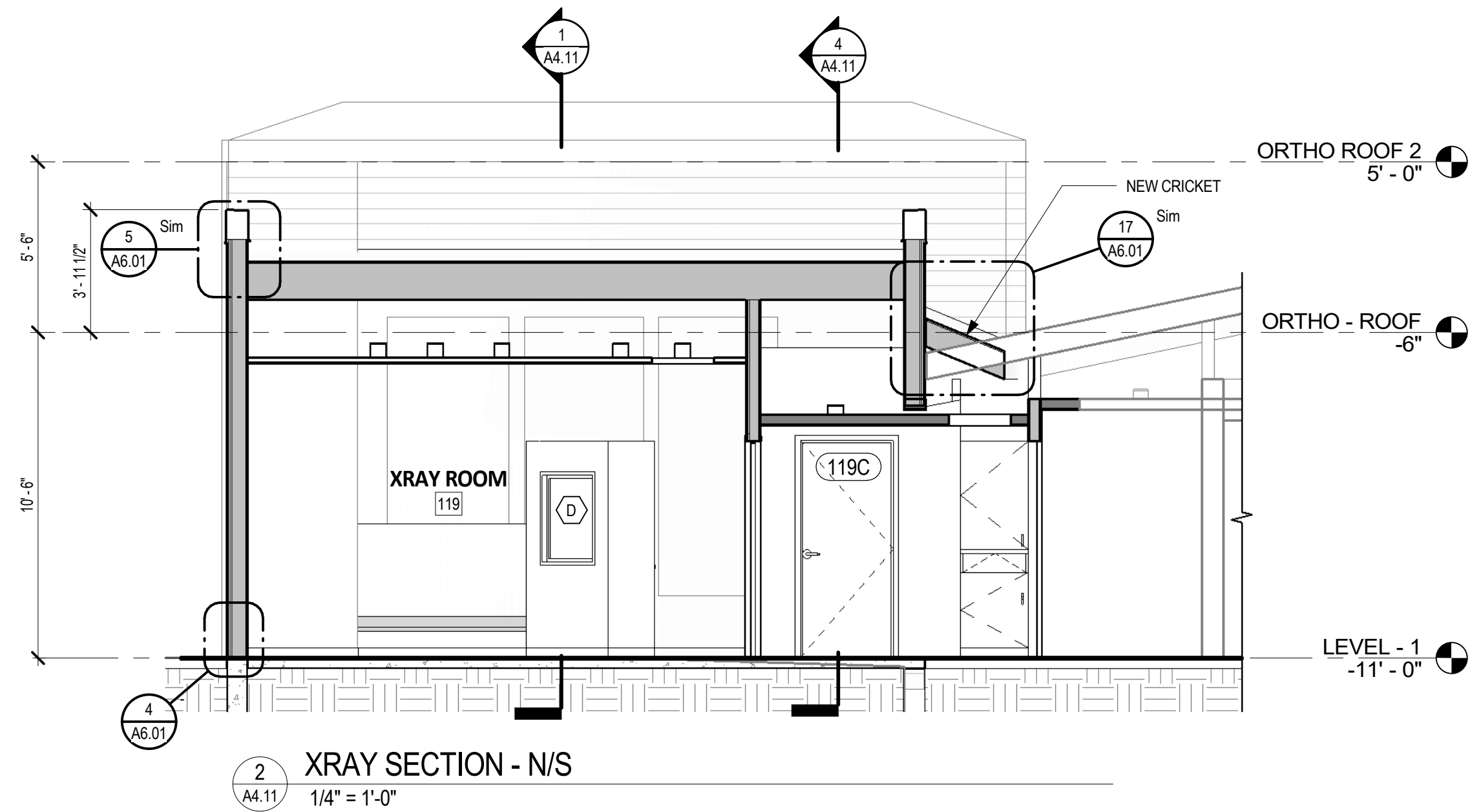
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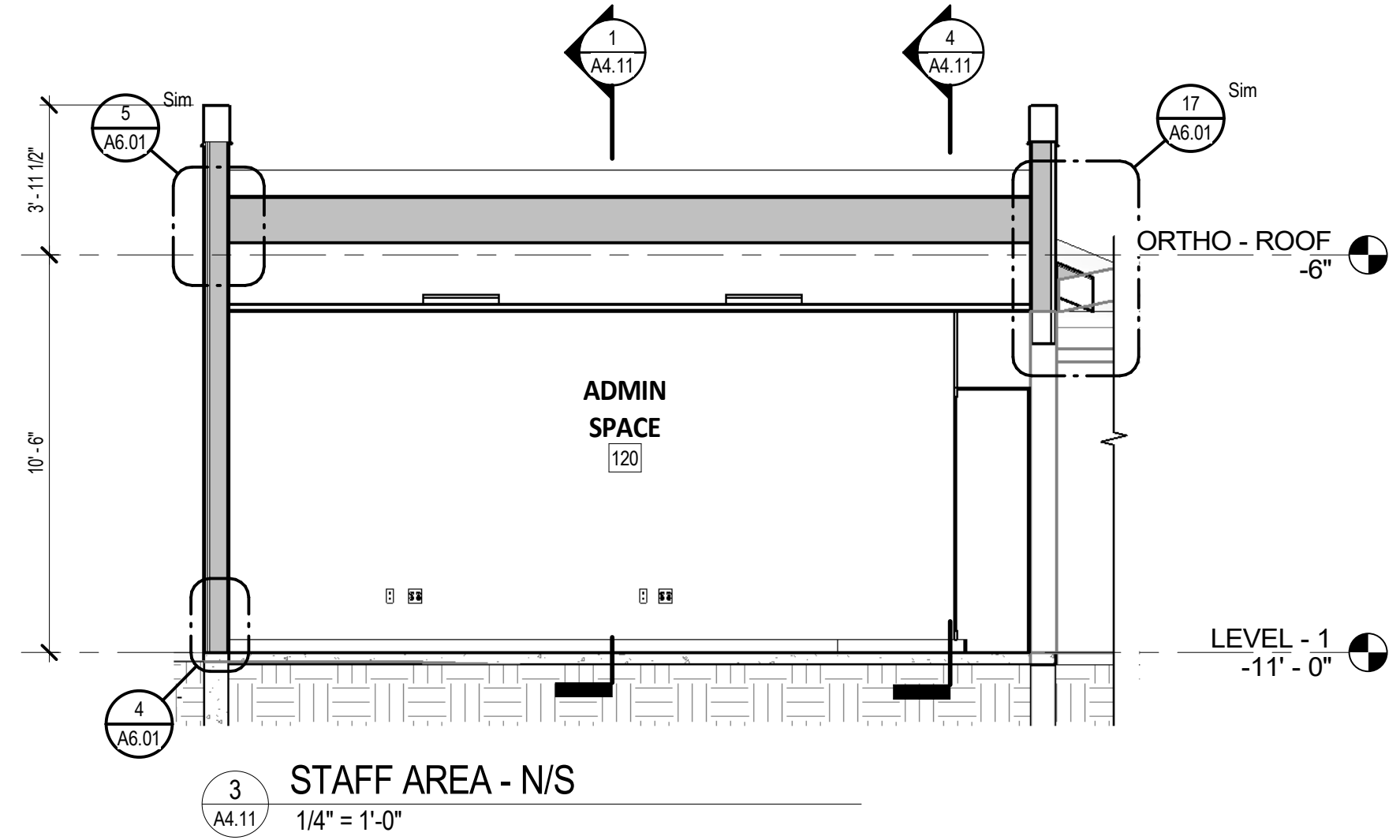
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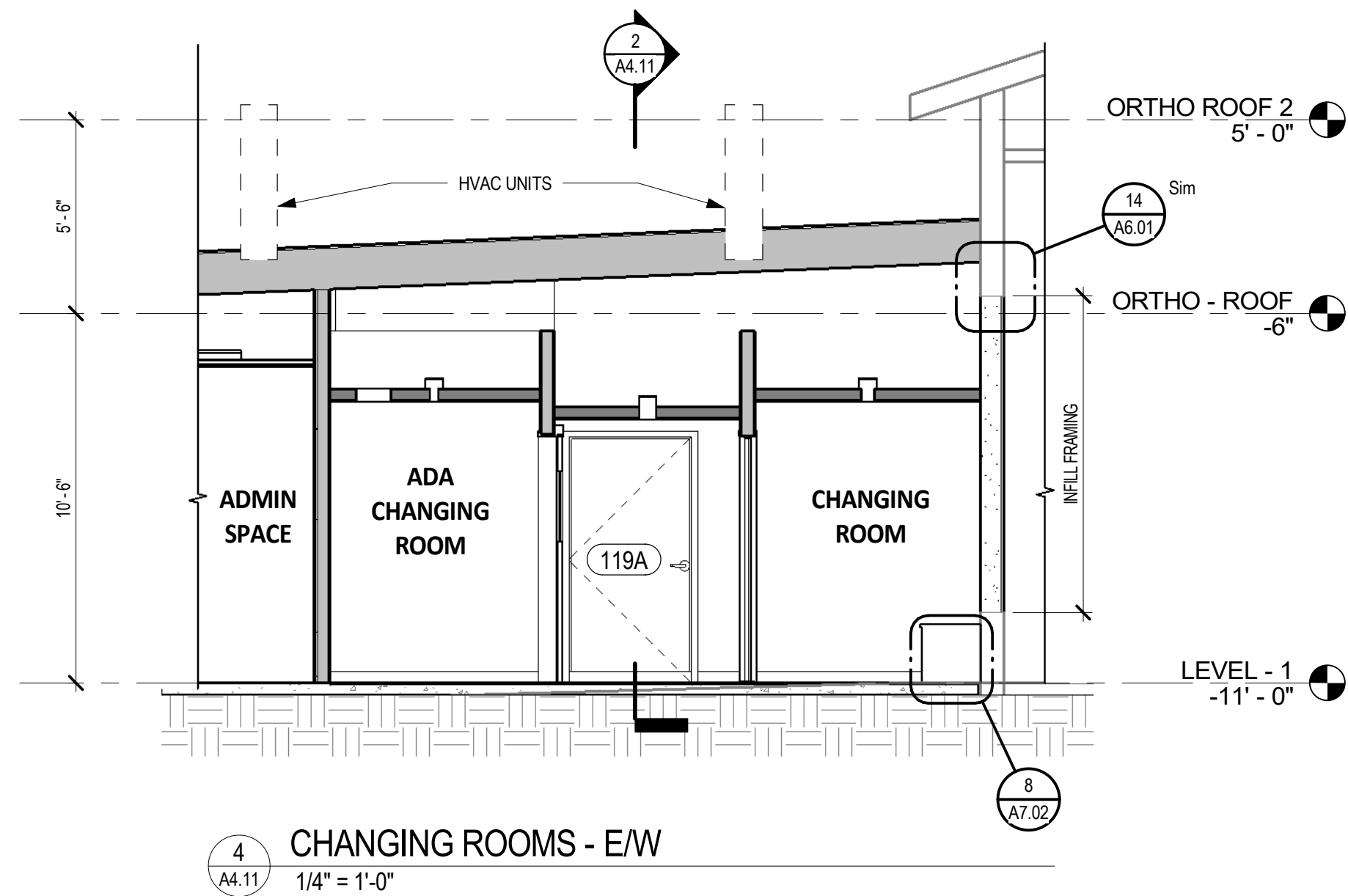
1
A4.11
ADMIN AND X-RAY ROOMS - E/W
1/4" = 1'-0"



2
A4.11
XRAY SECTION - N/S
1/4" = 1'-0"



3
A4.11
STAFF AREA - N/S
1/4" = 1'-0"



4
A4.11
CHANGING ROOMS - E/W
1/4" = 1'-0"

SECTION NOTES

1. REFER TO G SERIES FOR ABBREVIATIONS, SYMBOLS AND GENERAL PROCEDURAL NOTES.
2. REFER TO WINDOW TYPES AND DOOR SCHEDULES FOR ASSEMBLY INFORMATION, DIMENSIONS, DETAIL CONDITIONS, ETC.
3. REFER TO FINISH PLANS, INTERIOR ELEVATIONS, AND FINISH SCHEDULES FOR INTERIOR FINISH MATERIALS AND TRANSITIONS.
4. REFER TO EXTERIOR DETAILS FOR TYPICAL ROOF AND FLASHING DETAILS.
5. REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR FINISH MATERIALS PATTERNS AND COLORS.
6. REFER TO STRUCTURAL DRAWINGS FOR ALL SLAB, FOOTING, BRACING, STEM WALL, AND SUPPORT COMPONENT INFORMATION.
7. THROUGH-WALL COUNTERFLASHING SHALL BE APPROPRIATE TWO-PIECE PREFINISHED SHEET METAL PER S.M.A.C.N.A. MANUAL FIG 4-40 U.N.O.
8. PROVIDE AND INSTALL BLOCKING, BRACING, AND STRAPPING FOR CABINETS, M.E.P. EQUIPMENT, TOILET ACCESSORIES, AND ALL OTHER ITEMS THAT REQUIRE SUPPORT. REFERENCE G SERIES SHEETS AND SPECIFICATIONS.

SANTIAM ORTHO X-RAY ADDITION

Santiam Hospital and Clinics

1377 N 10th Ave, Stayton, OR 97383

ISSUE DATE: 10/23/2024
REVISIONS:

BUILDING SECTION

A4.11

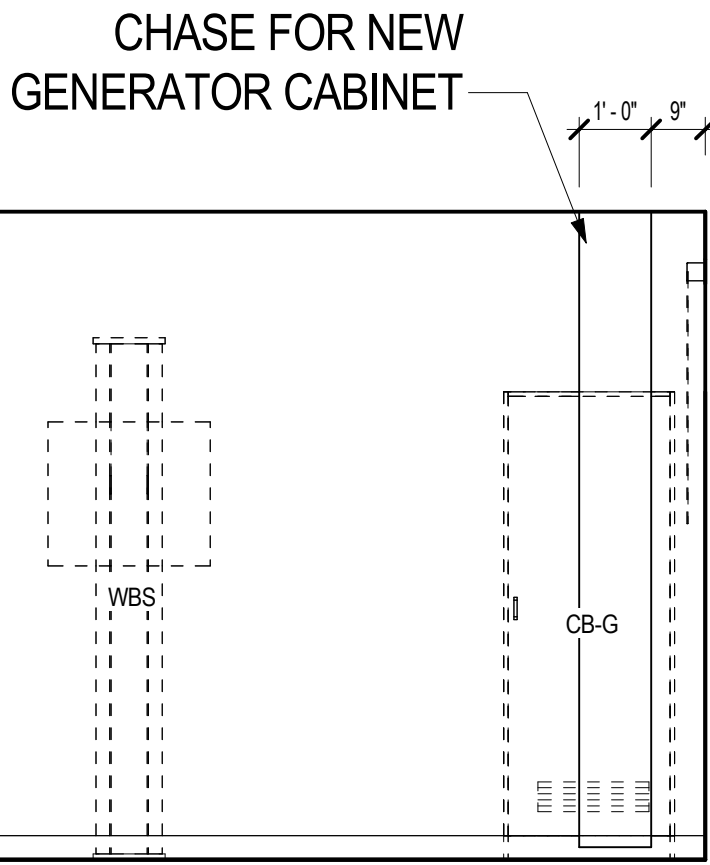
PROJECT NO.: 24023

CONSTRUCTION DOCUMENTS

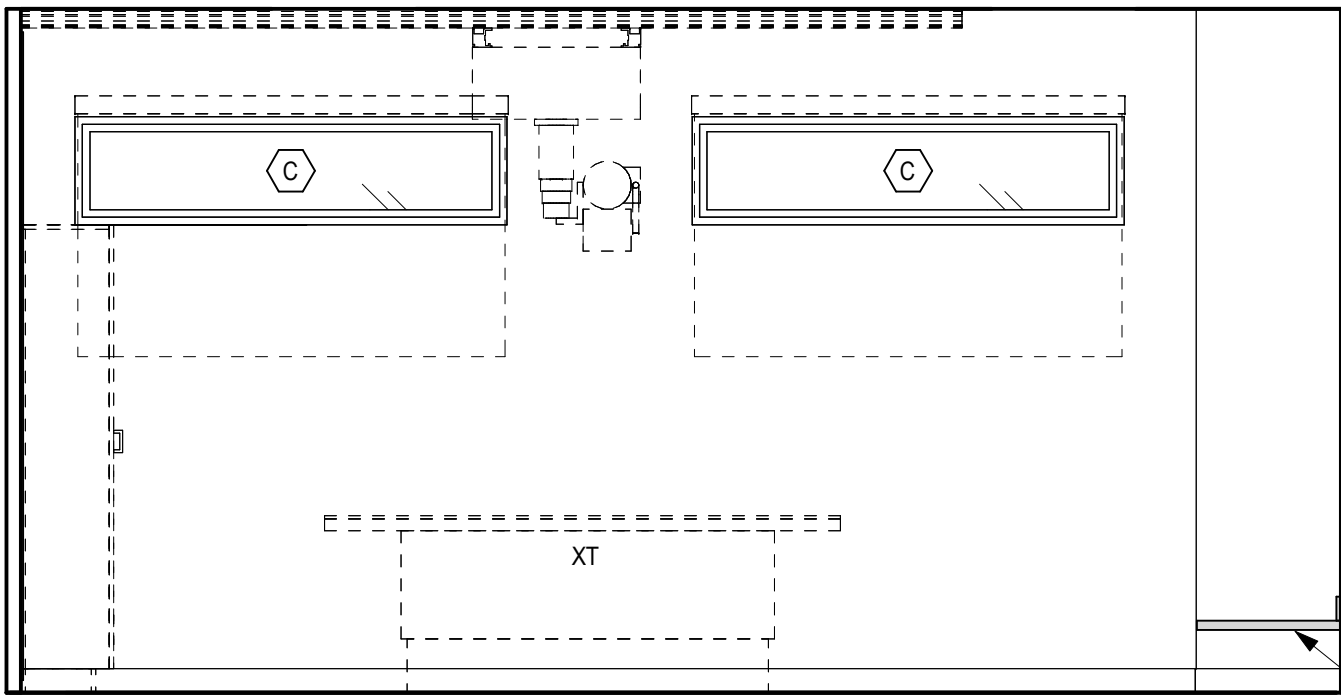


CLARK K JOSS
ARCHITECTS, LLC

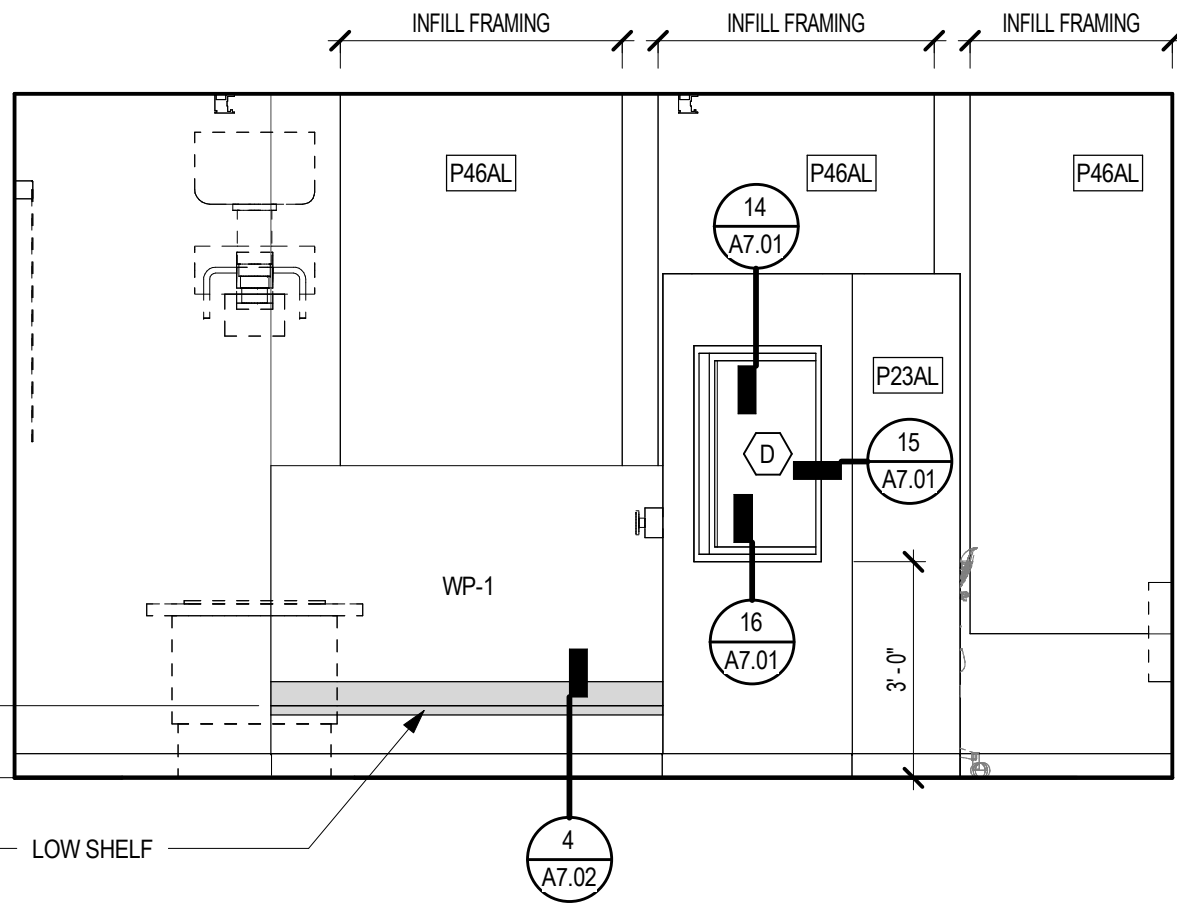
621 SW Alder St, Suite 700
Portland, OR 97205
Phone: 503.224-4848



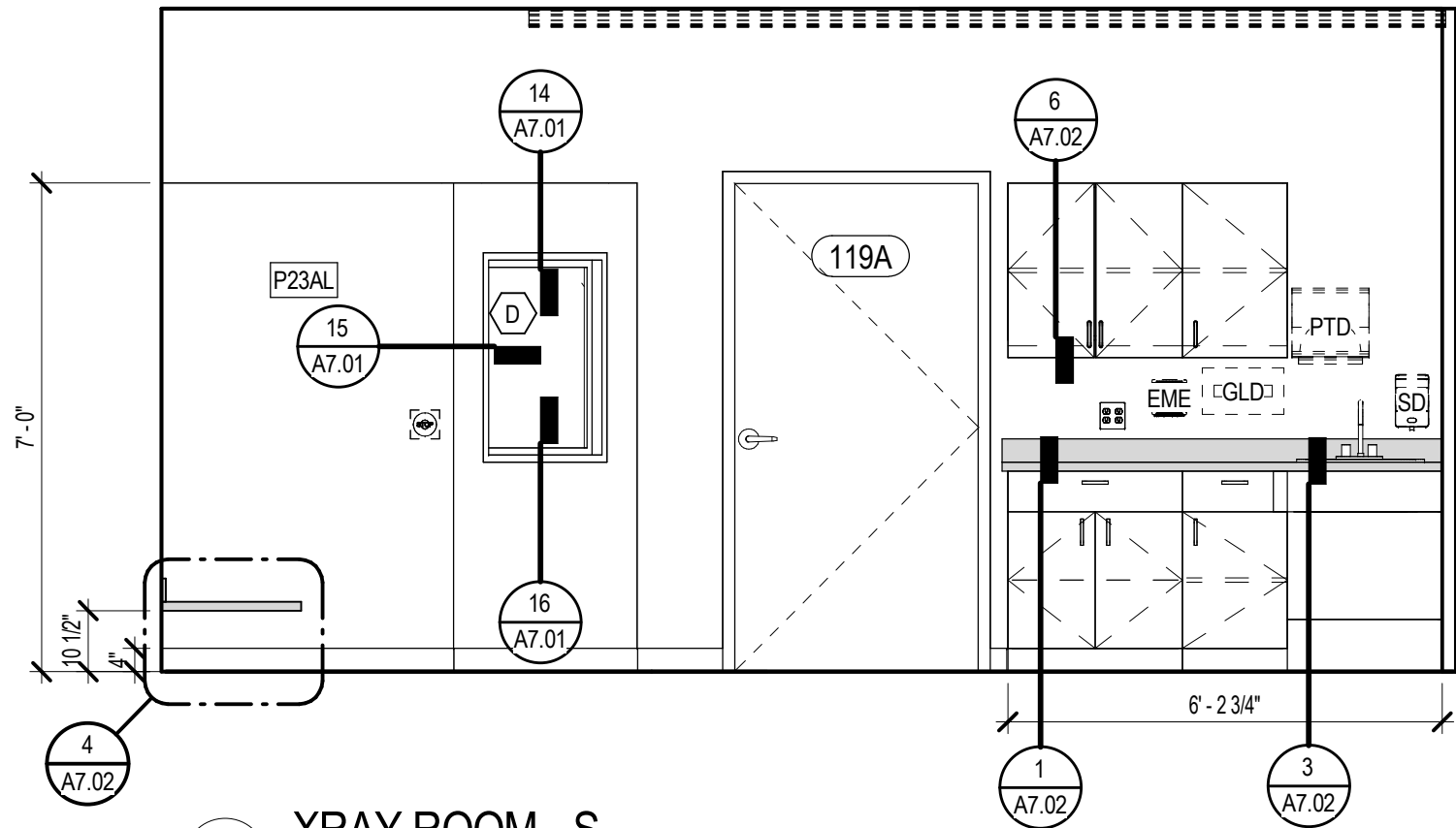
4 XRAY ROOM - W
3/8" = 1'-0"



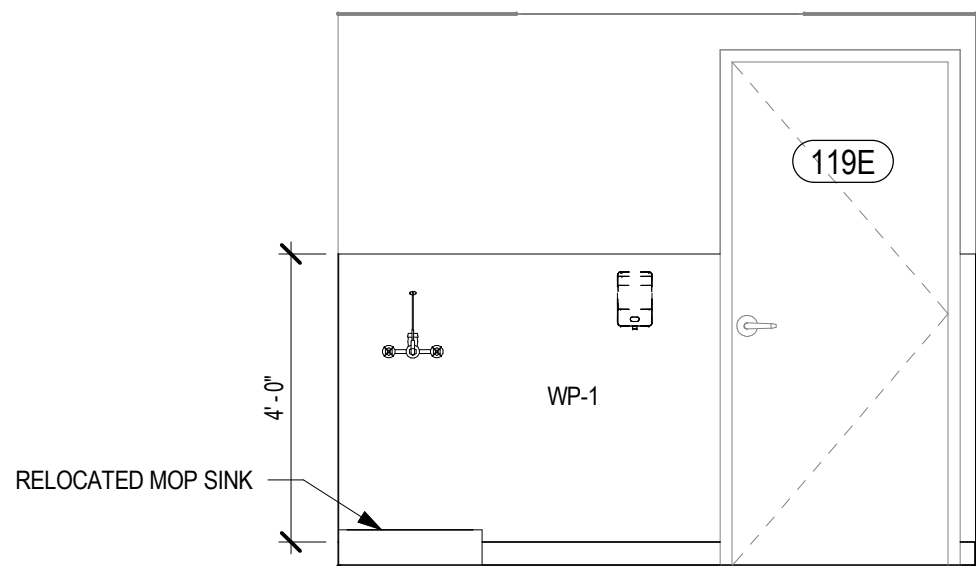
3 XRAY ROOM - N
3/8" = 1'-0"



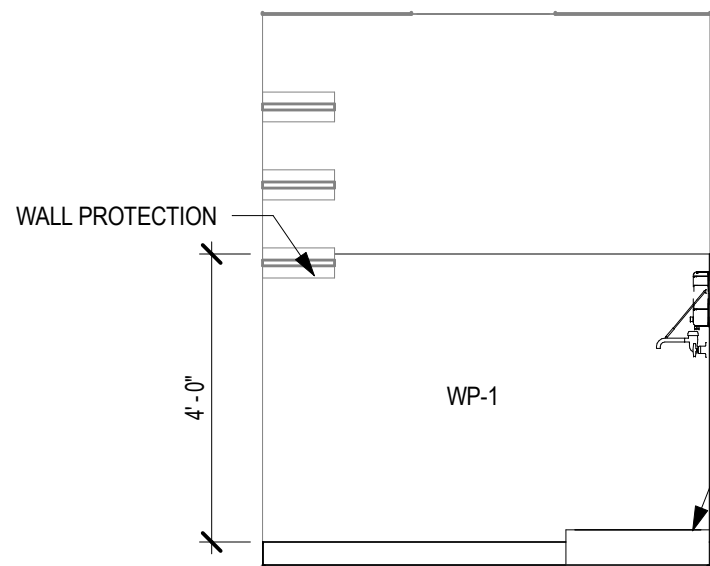
2 XRAY ROOM - E
3/8" = 1'-0"



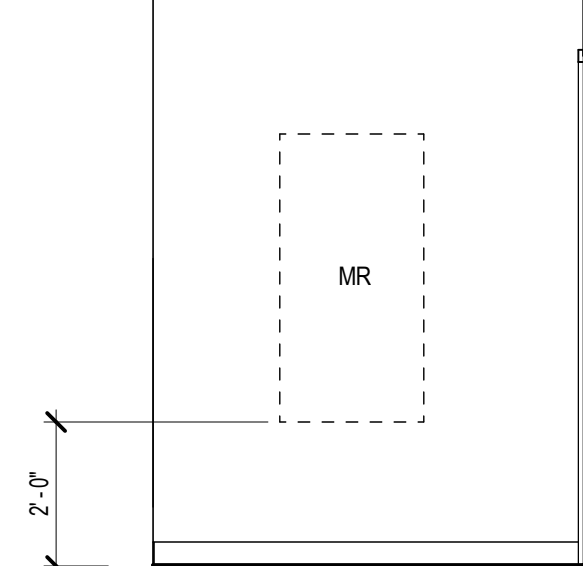
1 XRAY ROOM - S
3/8" = 1'-0"



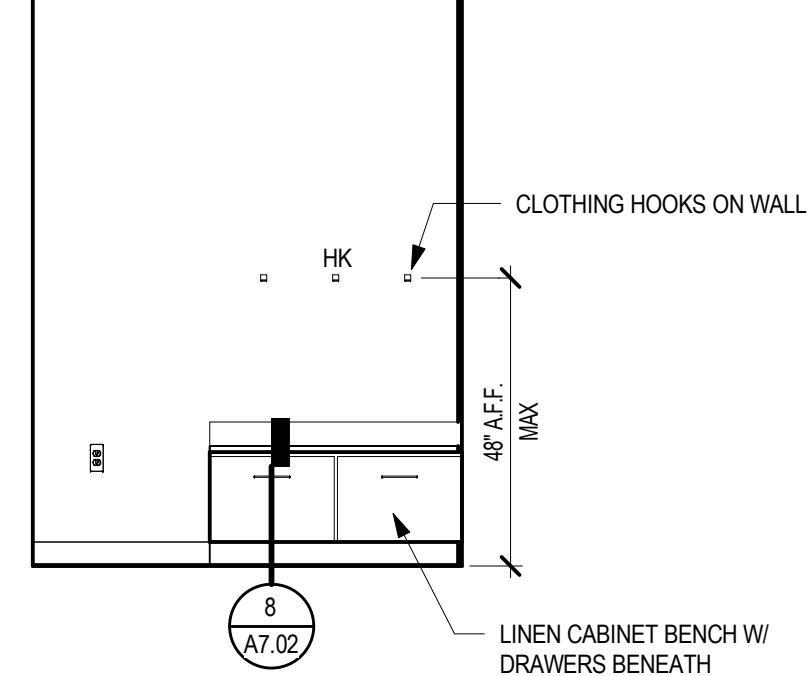
10 EVS CL - W
3/8" = 1'-0"



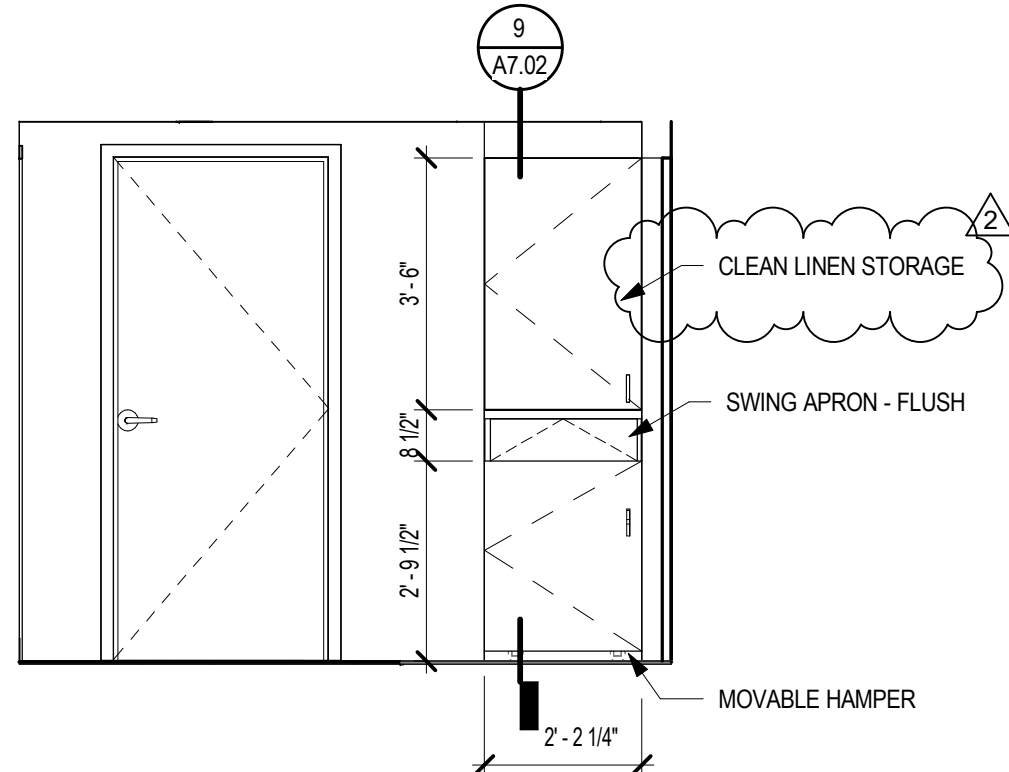
9 EVS CL - S
3/8" = 1'-0"



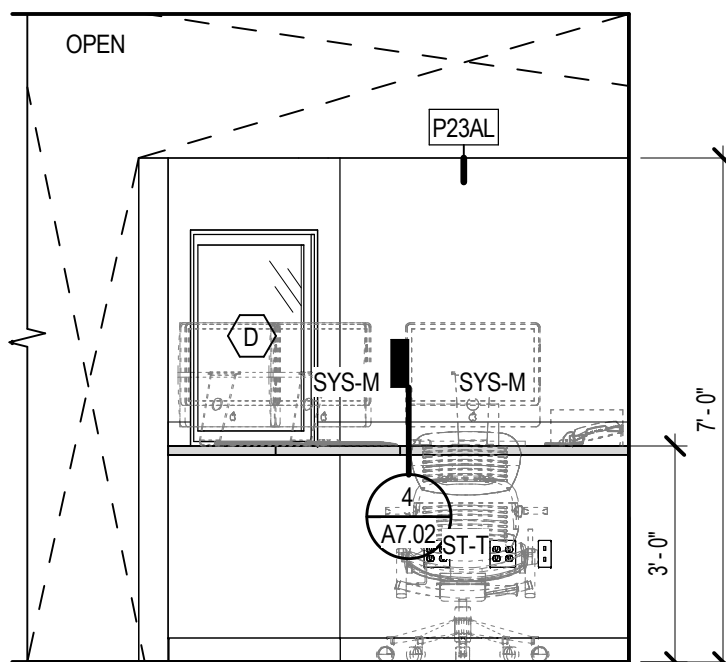
8 ADA CHANGING ROOM - N
3/8" = 1'-0"



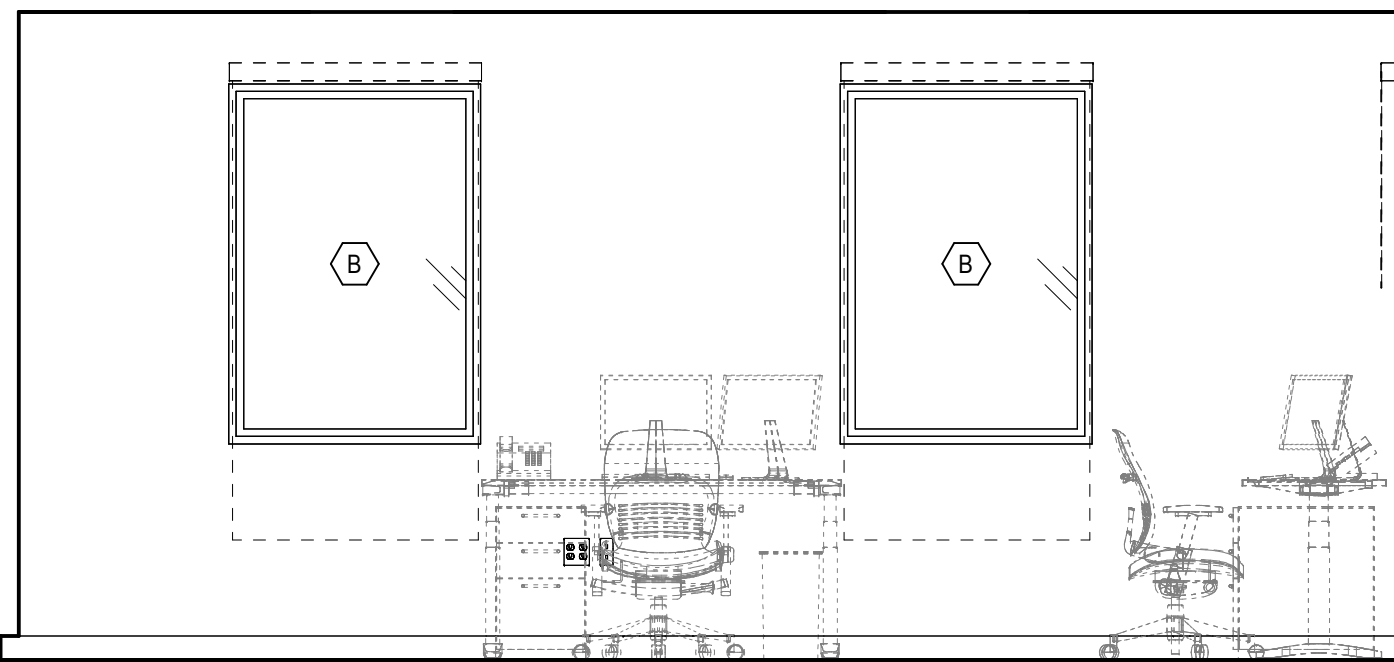
7 ADA CHANGING ROOM - S
3/8" = 1'-0"



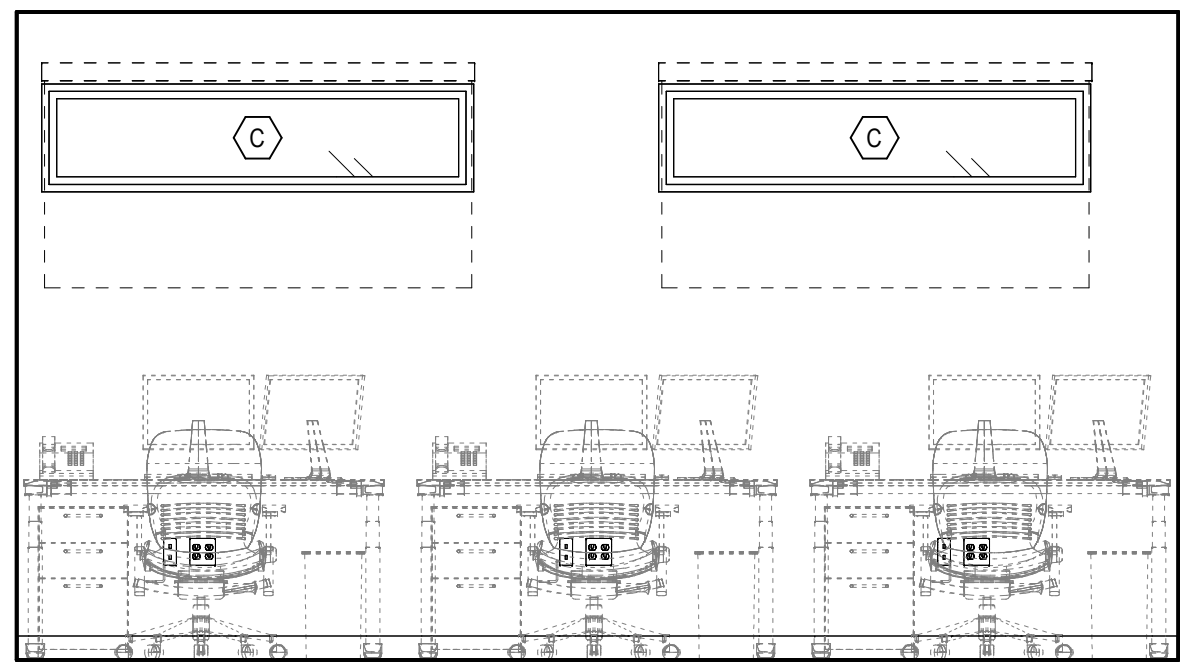
6 WALL AT FULL HEIGHT CABINET WITH HAMPER
3/8" = 1'-0"



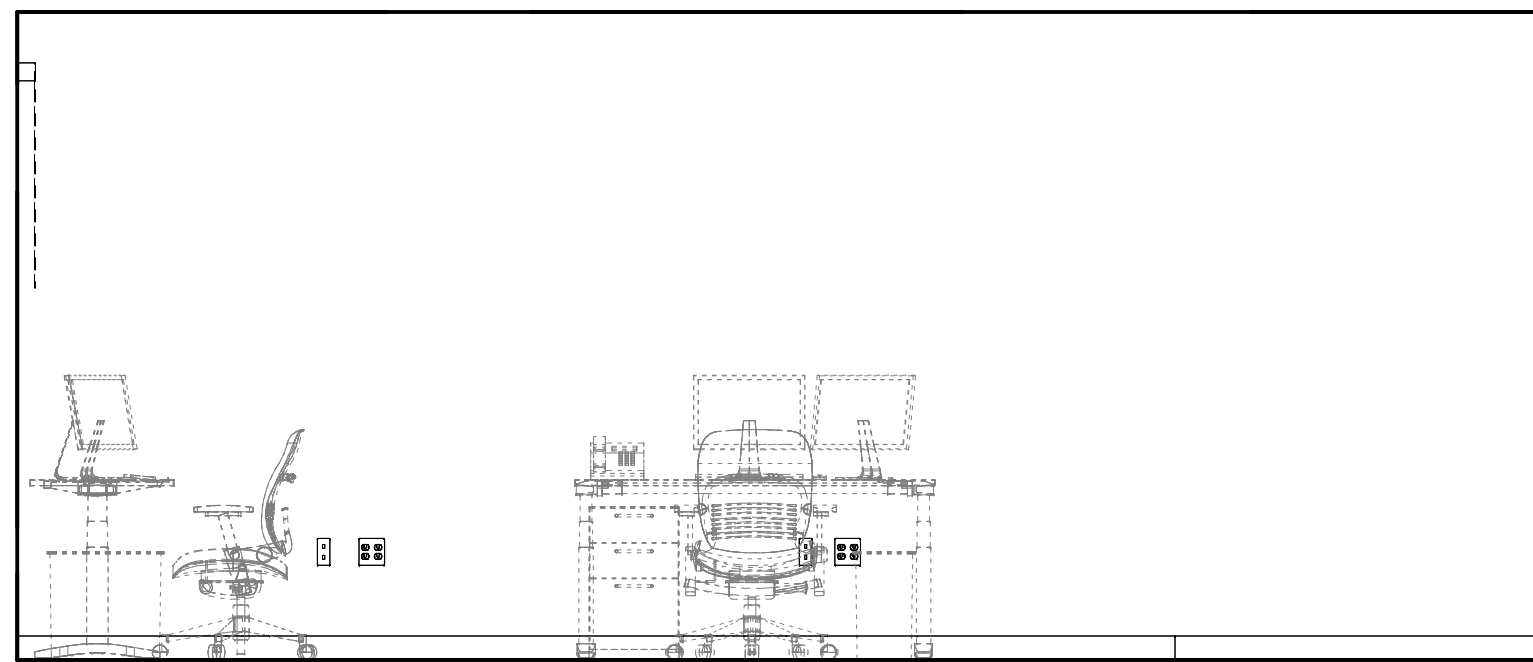
5 XRAY Control - N
3/8" = 1'-0"



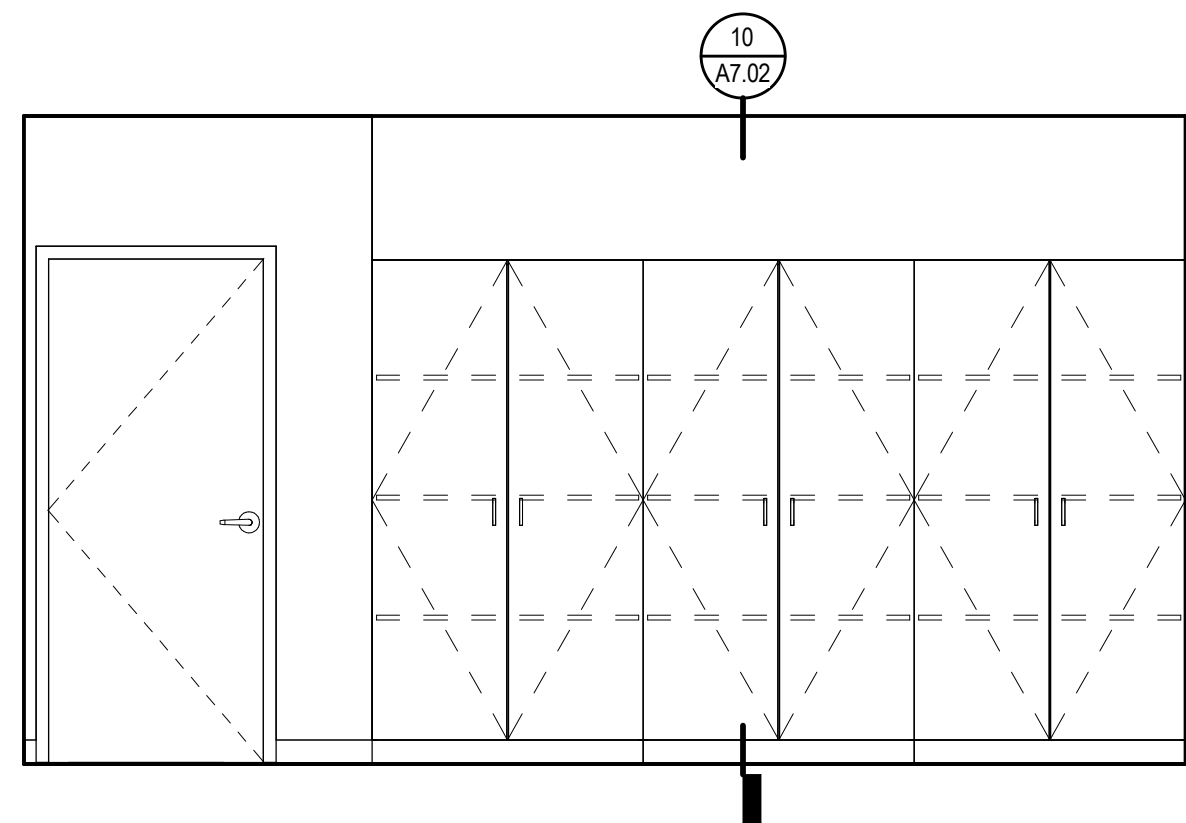
14 ADMIN - W
3/8" = 1'-0"



13 ADMIN - N
3/8" = 1'-0"

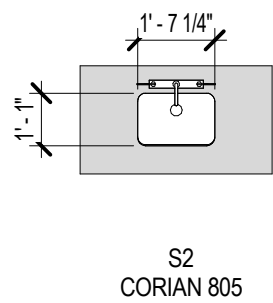


12 ADMIN - E
3/8" = 1'-0"



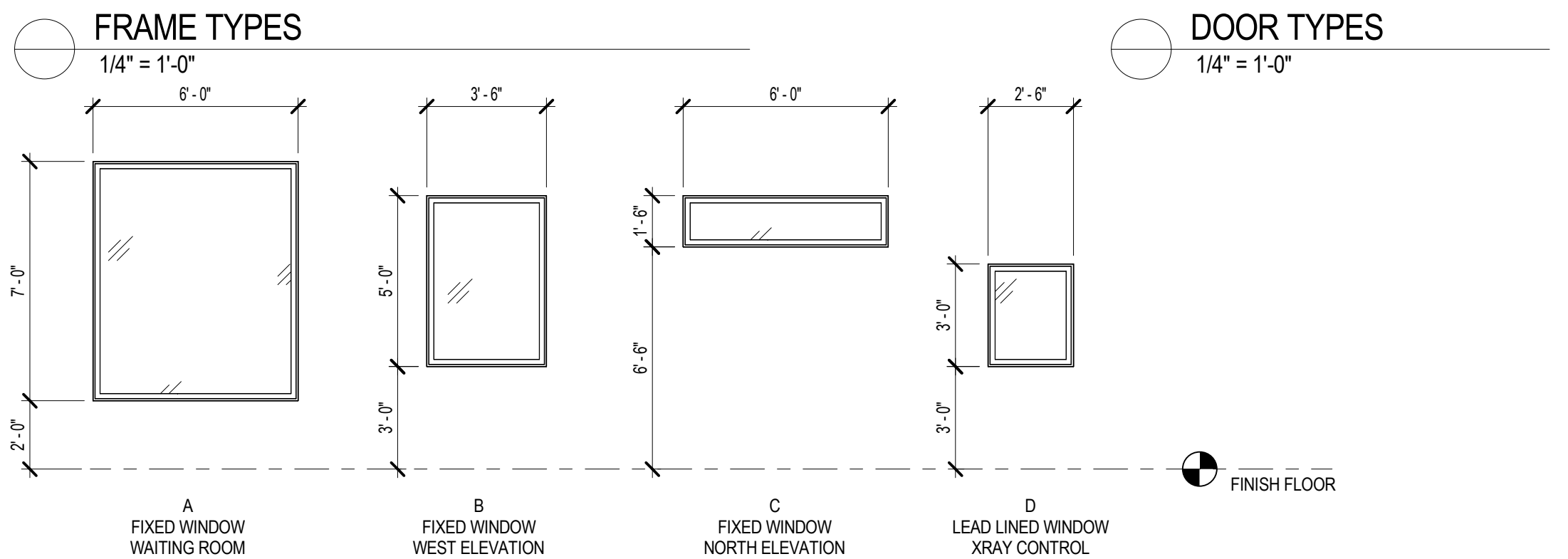
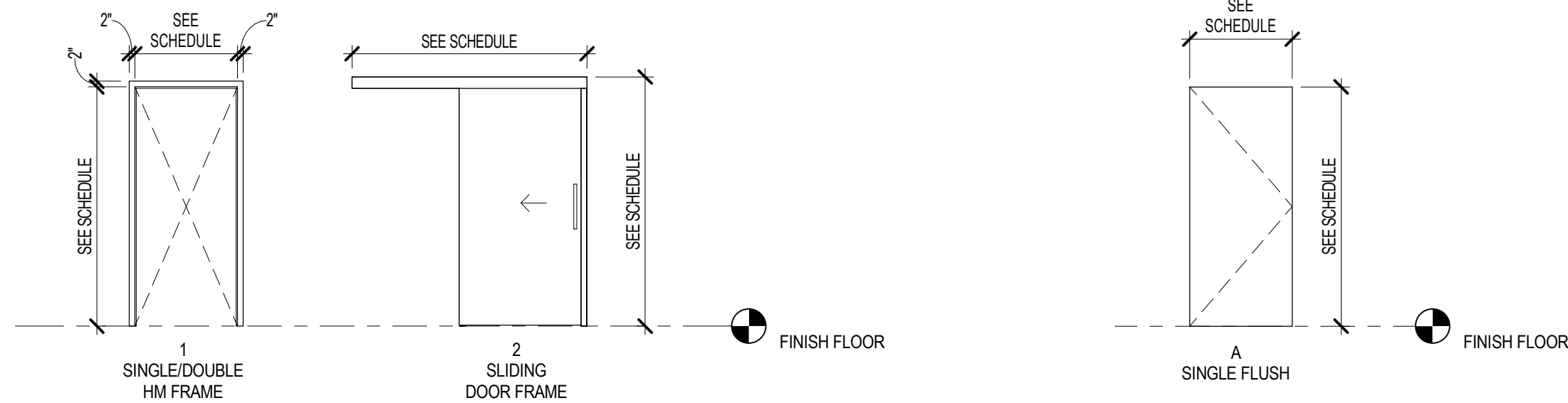
11 ADMIN - S
3/8" = 1'-0"

SINK AND FAUCET SCHEDULE				
Room Number	ROOM NAME	SINK	FAUCET	COMMENTS
119	XRAY ROOM	S2		SINGLE LEVER MIXER



SOLID SURFACE SINK
1/4" = 1'-0"

DOOR SCHEDULE										
MARK	ROOM NUMBER	ROOM NAME	DOOR			FRAME		HDWR		COMMENTS
			SIZE	TYPE	MATERIAL	TYPE	MATERIAL			
119J			7'-10"	7'-0"	A	SC	1	HM	1	
119A	119	XRAY ROOM	3'-6"	7'-0"	A	SC	1	HM	1	
119B	119B	ADA CHANGING ROOM	3'-0"	7'-0"	MFR	SC	2	MFR	2	
119C	119C	CHANGING ROOM	3'-0"	7'-0"	A	SC	1	HM	3	
120	120	ADMIN SPACE	3'-0"	7'-0"	A	SC	1	HM	4	



WINDOW TYPES
1/4" = 1'-0"

INTERIOR ELEVATION NOTES

- REFERENCE G SHEETS FOR STANDARD AND ACCESSIBLE MOUNTING HEIGHTS FOR ALL SIGNAGE, EQUIPMENT, AND FIXTURES.
- REFERENCE G SHEETS AND DETAILS FOR BLOCKING AND BACKING REQUIREMENTS.
- ALL INTERIOR ELEVATION DIMENSIONS ARE FROM FINISHED FACE U.N.O.
- CASEWORK SHALL BE COORDINATED WITH OTHER TRADES, VENDORS, AND OWNER FOR ITEMS INSTALLED IN AND AROUND CABINETS AS WELL AS CHASES, COLUMN WRAPS, ETC.
- ALL WALL AND BASE CABINETS SHALL BE TO BE ADJUSTABLE U.N.O.
- PROVIDE GROMMETS AT EACH LOCATION OF POWER AND DATA LOCATED BELOW COUNTERS (MIN 30" O.C.). INCLUDE ON SHOP DRAWINGS FOR REVIEW.
A. 1-1/2" GROMMET FOR UP TO 2 OUTLETS
B. 2-1/2" GROMMET FOR UP TO 4 OUTLETS
- ALL WALL PROTECTION TO BE 48" ABOVE WALL BASE U.N.O.
- VERIFY SIZES, CLEARANCES, AND UTILITY DEMANDS OF ALL OWNER-FURNISHED EQUIPMENT.
- PROVIDE PAINTED 3/4" PLYWOOD OVER TAPED AND FLOATED G.W.B. (FINISH LEVEL 2) ON ALL WALLS OF I.D.P. AND M.D.F. ROOMS, U.N.O.
- SEAL ALL ACCESSORY FIXTURES WATERTIGHT PER BUILDING CODE.
- PROVIDE CONTINUOUS SEALANT AROUND ALL PENETRATIONS IN FLOOR, WALL, CEILING, OR ROOF ASSEMBLIES, APPROPRIATE TO THE RATING CONSTRUCTION OF THE ASSEMBLY.

LEGEND

OFOT - OWNER FURNISHED

EQUIPMENT SCHEDULE

TAG	DESCRIPTION
CB-G	POLYDOROS GENERATOR CABINET
CH-T	TASK CHAIR
CRU	WORKSTATION DOUBLE MONITOR
EME	EMESIS BAG DISPENSER
GH	GRID HOLDER
GLD	GLOVE DISPENSER
HS	HAND SANITIZER DISPENSER
MP	PEDESTAL BOX/BOXFILE
MR	MIRROR
PH	DESK PHONE
PH	PHONE
PTD	PAPER TOWEL DISPENSER
SCN	SCANNER 12x12
SD	SOAP DISPENSER
SSD	DESK, SIT/STAND
ST-T	STOOL, TASK
SYS-M	SYSTEM MONITOR
TR	WASTE BIN, SHORT
WBS	BUCKY WALL STAND
XT	X-RAY TABLE

GENERAL NOTES - DOORS

- FIELD VERIFY ALL DIMENSIONS.
- COORDINATE FRAME SIZES WITH WALL THICKNESS AT NEW AND EXISTING CONDITIONS.
- WINDOW DIMENSIONS ARE UNIT SIZE NOT ROUGH OPENINGS.
- PROVIDE SAFETY GLAZING WHERE REQUIRED BY BUILDING CODE.

ABBREVIATIONS

AL	ALUMINUM
CR	ALUMINUM
FF	FACTORY FINISH
GL	GLASS
HM	HOLLOW METAL
MFR	MANUFACTURER
MTL	METAL
PFM	PREFINISHED METAL FRAM
PT	PAIN
SC	SOLID CORE
SIF	SOLID GROUT FRAME
SMOKE	S LABEL (SMOKE LABEL)
WD	WOOD VENEER DOOR WITH SOLID CORE
20 MIN	20 MIN. UL RATED DOOR ASSEMBLY
45 MIN	45 MIN. UL RATED DOOR ASSEMBLY
60 MIN	60 MIN. UL RATED DOOR ASSEMBLY
90 MIN	90 MIN. UL RATED DOOR ASSEMBLY

LOCKING

AC	ACCESS CONTROL
AO	AUTO OPENER
CL	CLASSROOM LOCK
OL	OFFICE LOCK
PP	PUSH/PULL
PRIV	PRIVACY LOCK
PS	PASSAGE SET
STOR	STOREROOM LOCK

SANTIAM ORTHO X-RAY ADDITION

Santiam Hospital and Clinics

1377 N 10th Ave, Stayton, OR 97383

ISSUE DATE: 10/23/2024

REVISIONS:

2 OHA Response 01.15.25

INTERIOR ELEVATIONS,
DOOR SCHED. &
WINDOW TYPES

A5.01

PROJECT NO.: 24023

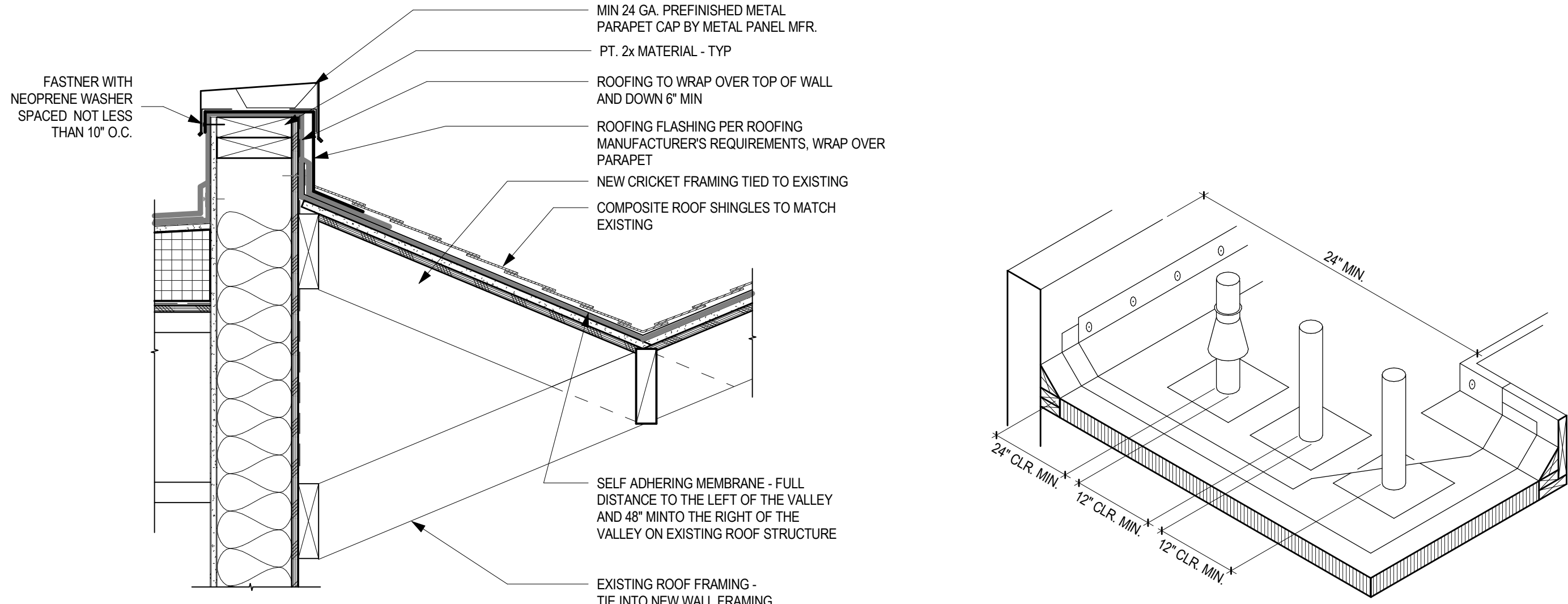
CLARK KLOS ARCHITECTS, LLC

REGISTERED ARCHITECT
SCOTT D. COMBS
Portland, Oregon
STATE OF OREGON

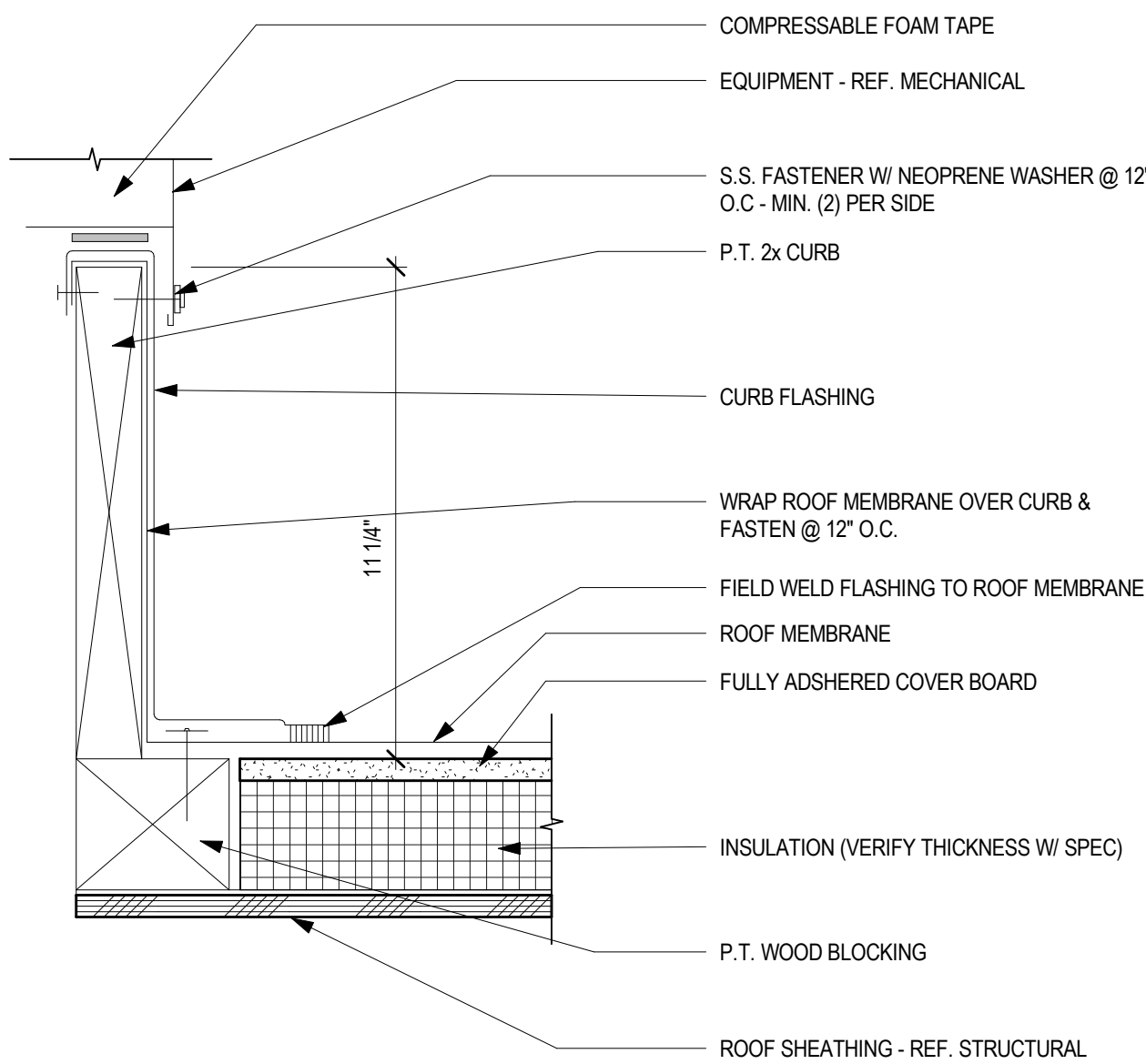
Phone: 503.224.4848

621 SW Adams St., Suite 700
Portland, OR 97205

CONSTRUCTION DOCUMENTS

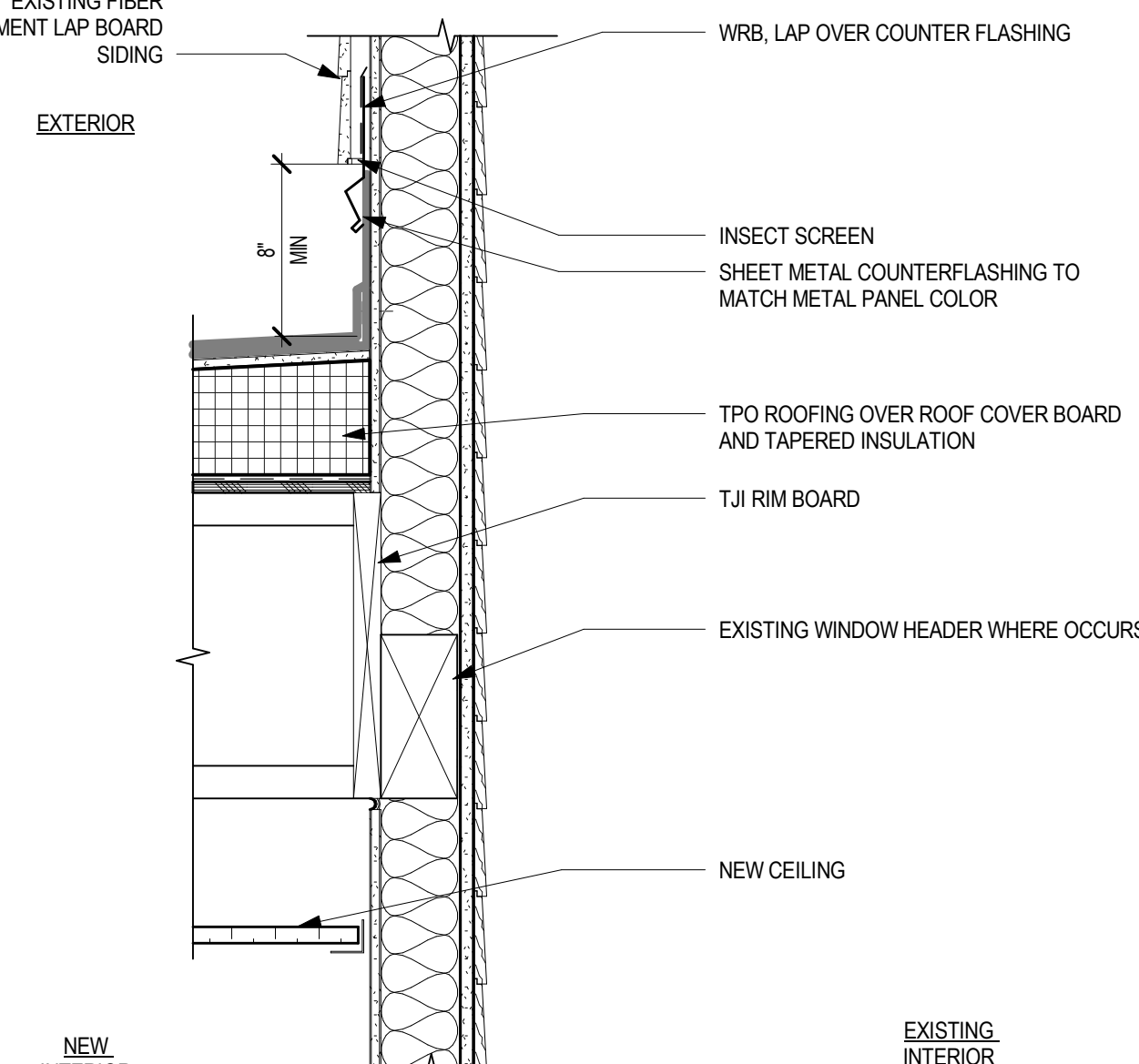


17
A6.01
CRICKET SECTION AT EXISTING ROOF
1 1/2" = 1'-0"



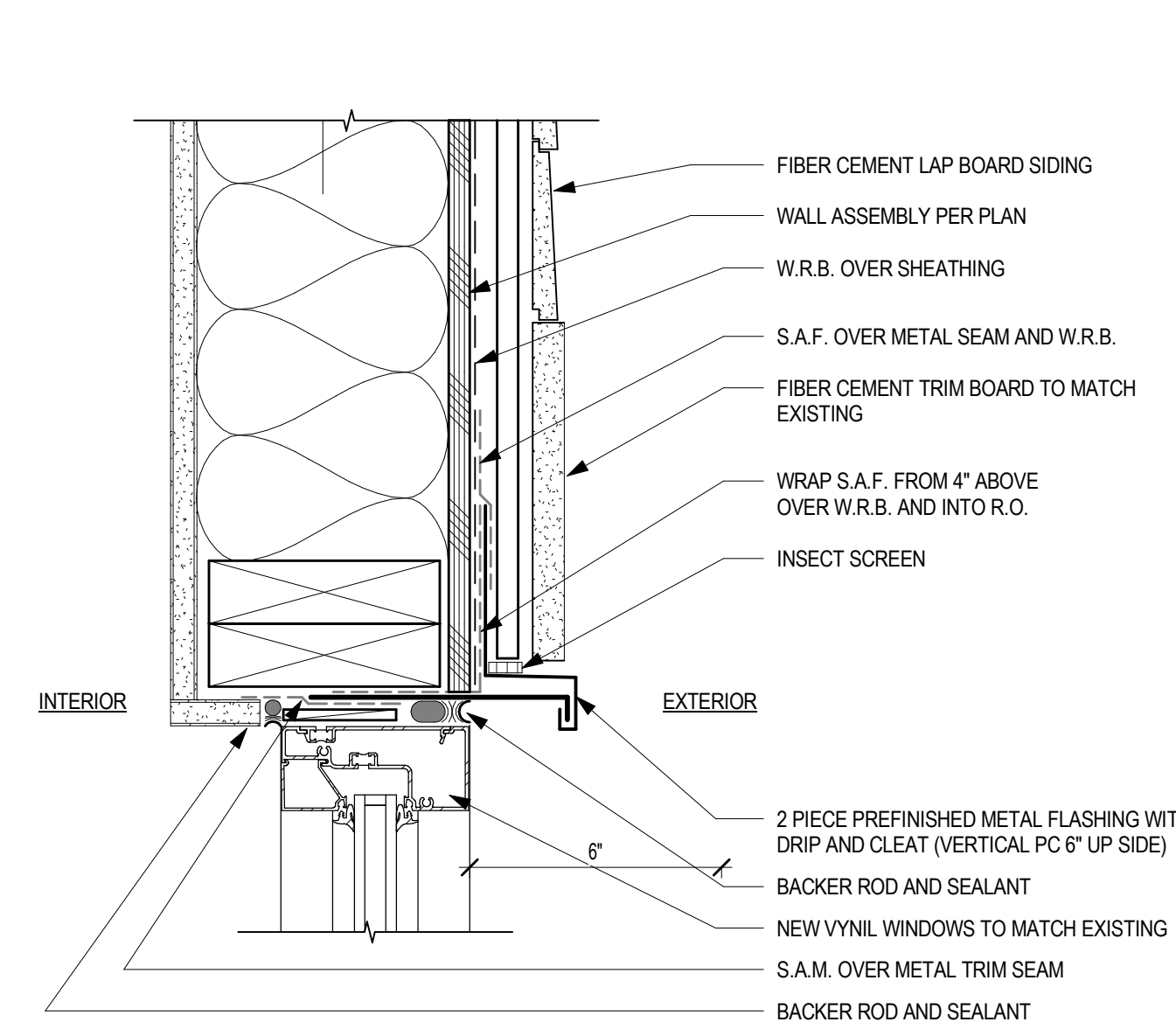
18
A6.01
SMALL EQUIPMENT CURB
3" = 1'-0"

13
A6.01
ROOF PENETRATION CLEARANCE
1 1/2" = 1'-0"

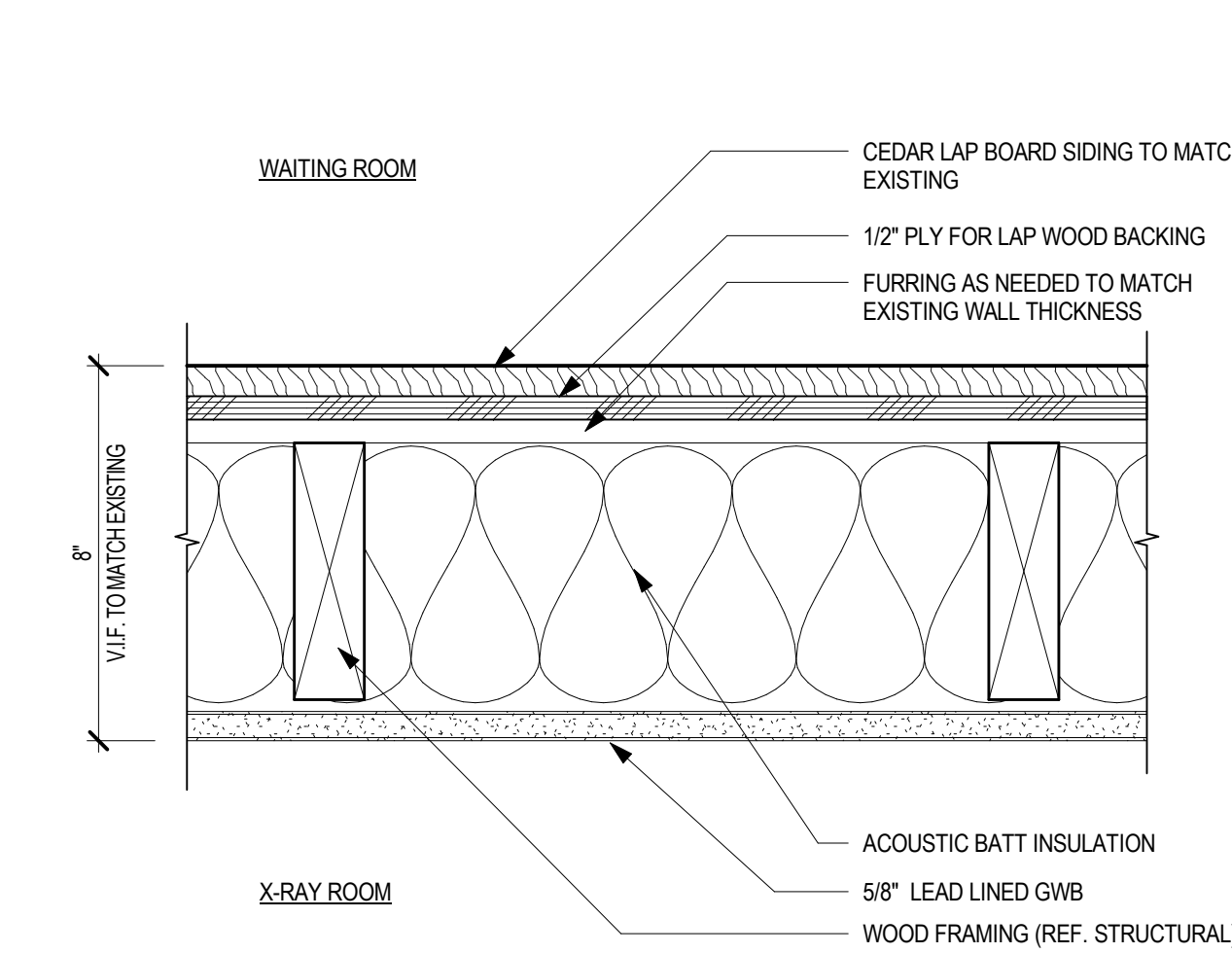


14
A6.01
NEW ROOF AT EXISTING WALL
1 1/2" = 1'-0"

9
A6.01
ROOF DETAIL AT PIPE
3" = 1'-0"

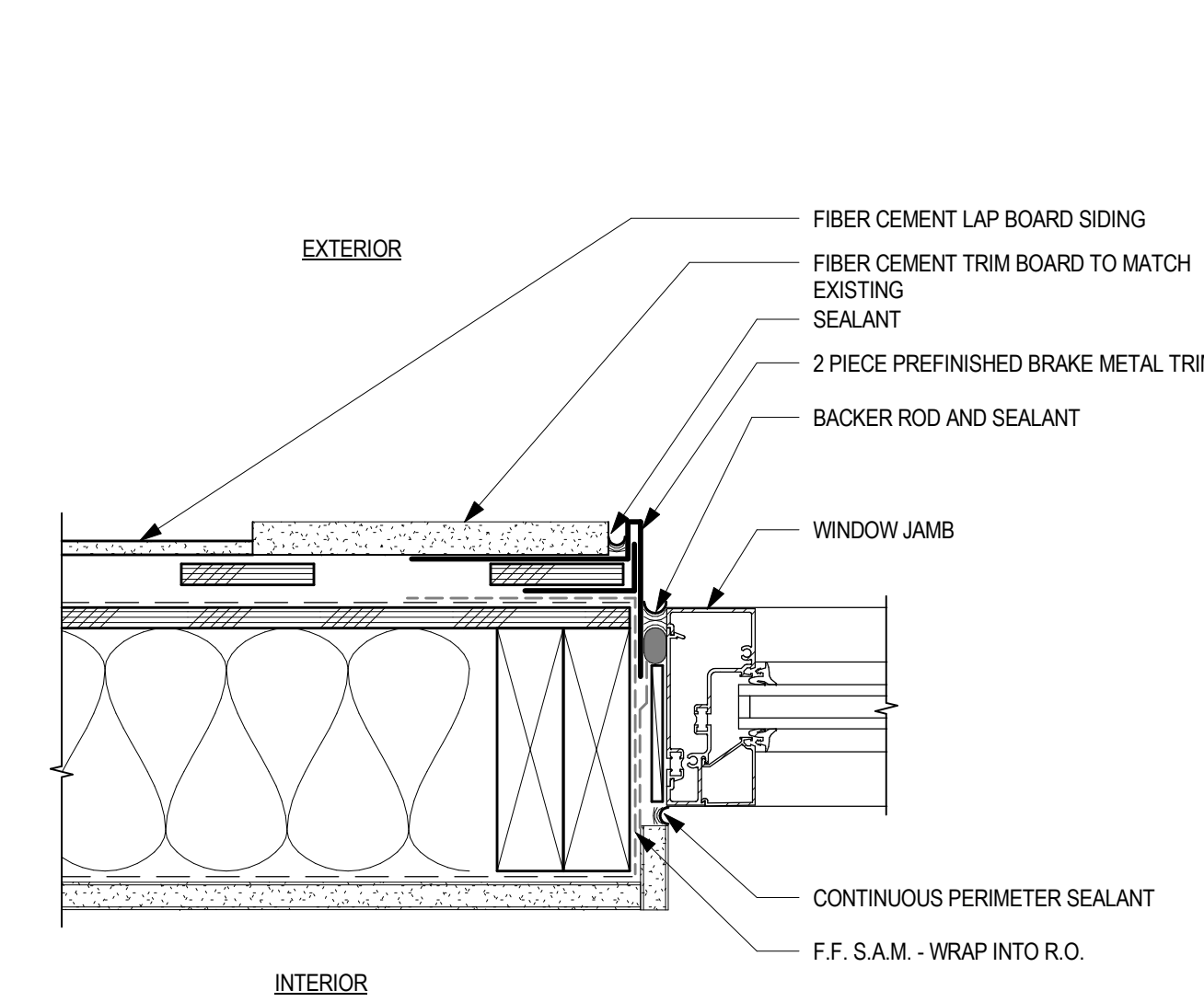


10
A6.01
TYP HEADER AT FIXED WINDOW
3" = 1'-0"

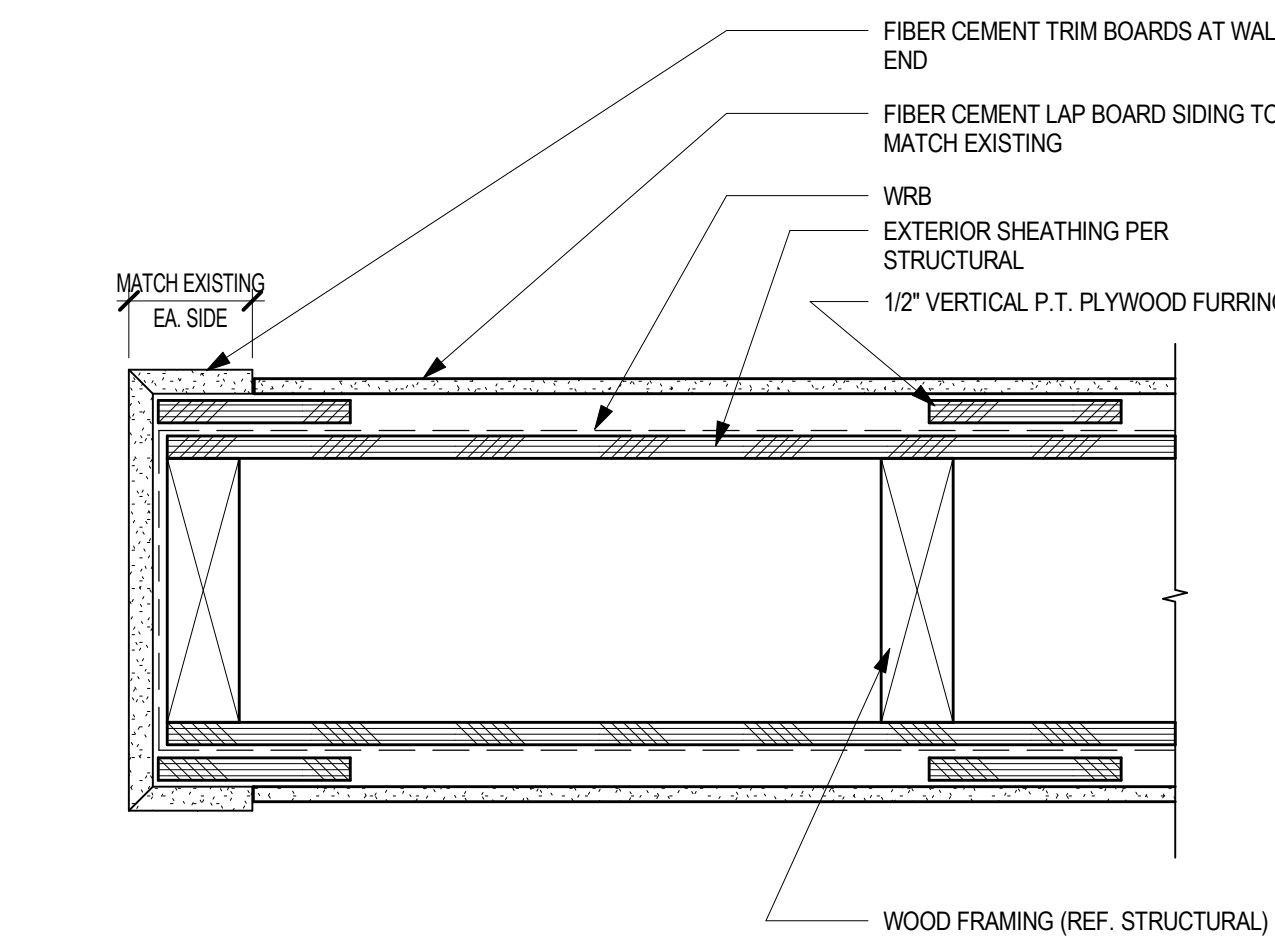


11
A6.01
INFILL FRAMING AT X-RAY ROOM
3" = 1'-0"

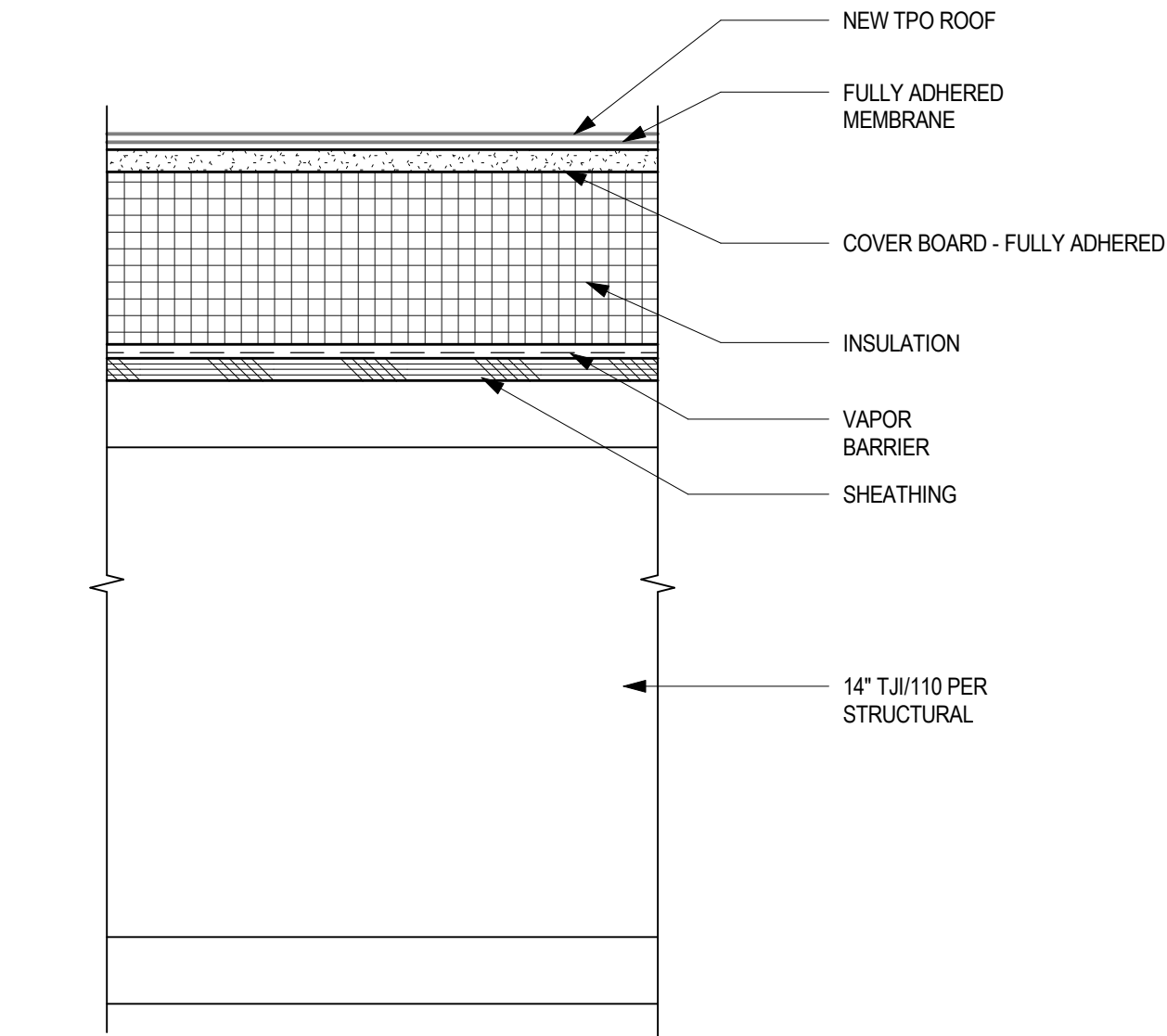
5
A6.01
PARAPET AT ROOF
3" = 1'-0"



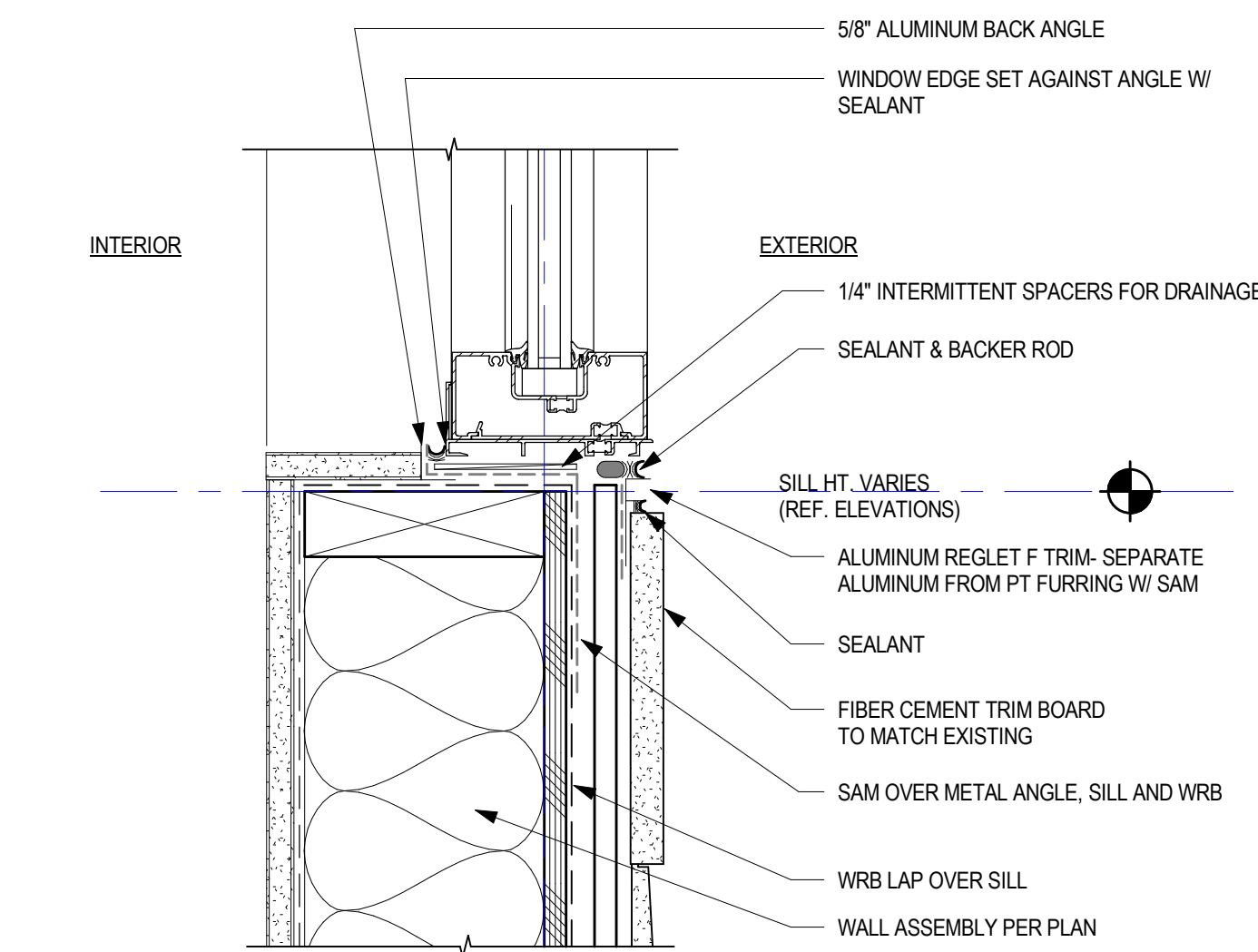
6
A6.01
TYP JAMB AT FIXED WINDOW
3" = 1'-0"



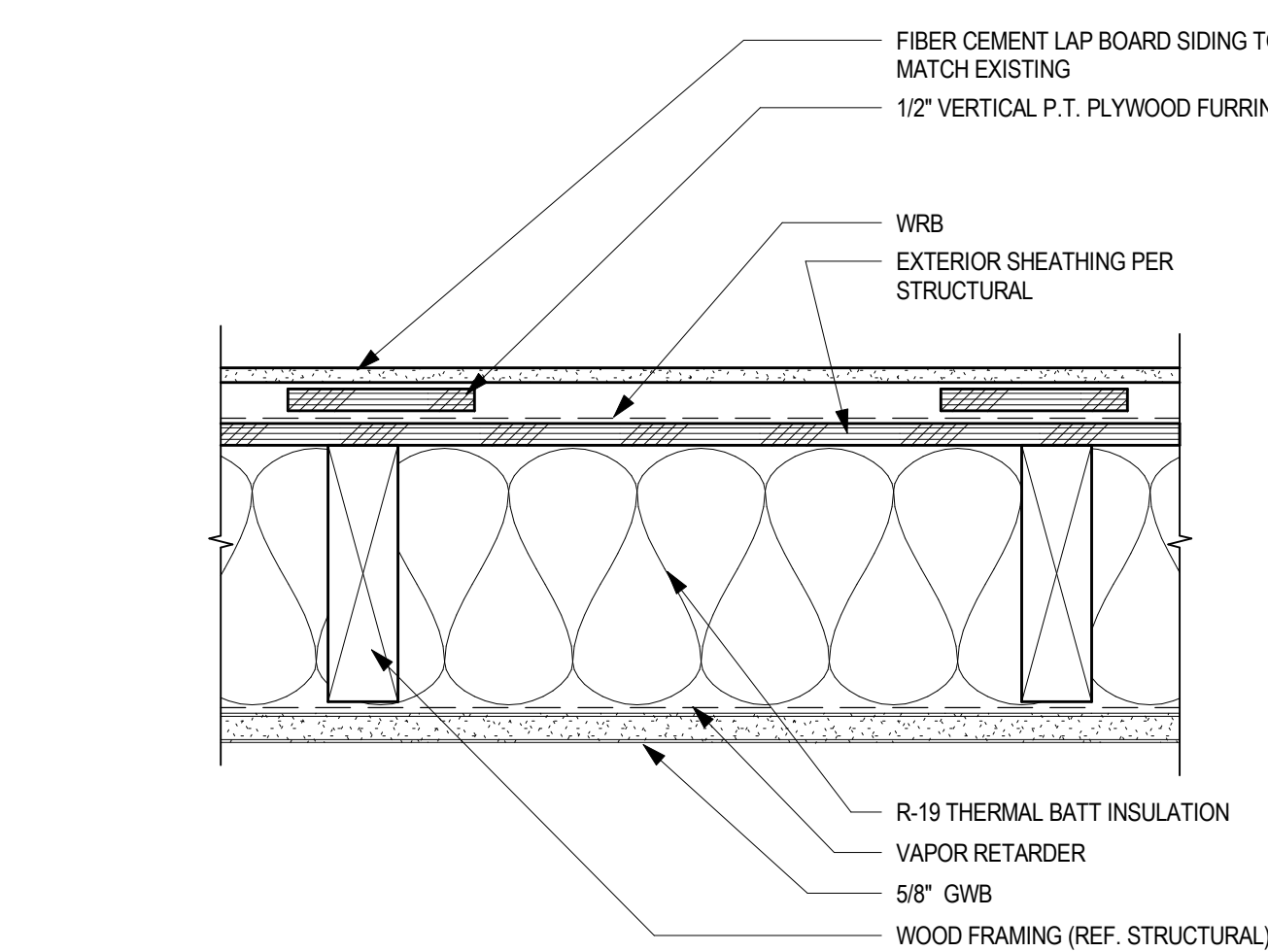
7
A6.01
EXTERIOR WING WALL
3" = 1'-0"



R1
TYPICAL ROOF ASSEMBLY

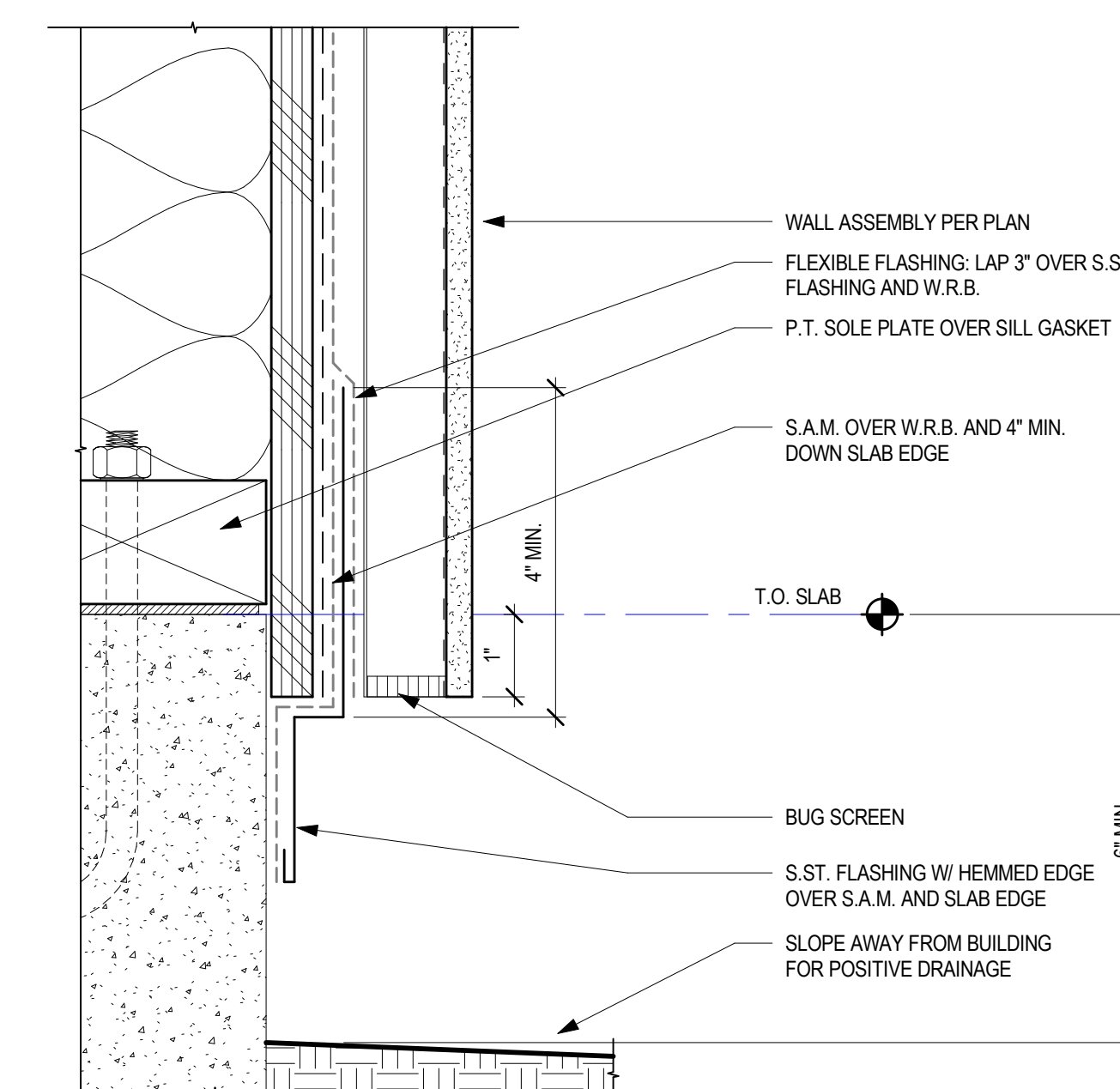


2
A6.01
TYP SILL AT FIXED WINDOW
3" = 1'-0"



NOTE:
REF. STRUCTURAL FOR SHEAR WALL LOCATIONS AND SHEATHING REQUIREMENTS

M1
A6.01
TYP EXTERIOR WALL
3" = 1'-0"



4
A6.01
TYP EXTERIOR WALL BASE WITH FIBER CEMENT SIDING
6" = 1'-0"

SANTIAM ORTHO X-RAY ADDITION

Santiam Hospital and Clinics

1377 N 10th Ave, Stayton, OR 97383

ISSUE DATE: 10/23/2024
REVISIONS:

EXTERIOR DETAILS

A6.01

PROJECT NO.: 24023

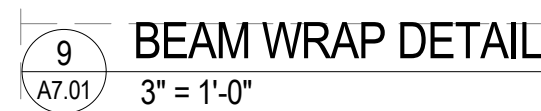
CLARK KLOS ARCHITECTS, LLC

REGISTERED ARCHITECT
SCOTT D. COMBS
Portland, Oregon
STATE OF OREGON

CONSTRUCTION DOCUMENTS

Phone: 503.224-4848

621 SW Alder St, Suite 700
Portland, OR 97205



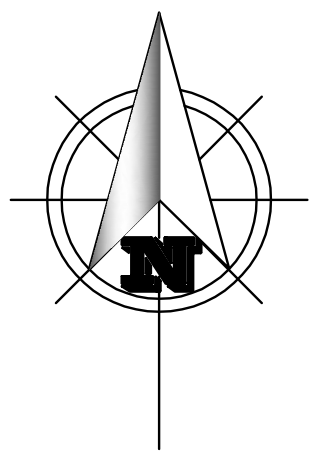
Santiam Hospital and Clinics

1377 N 10th Ave. Stayton, OR 97383



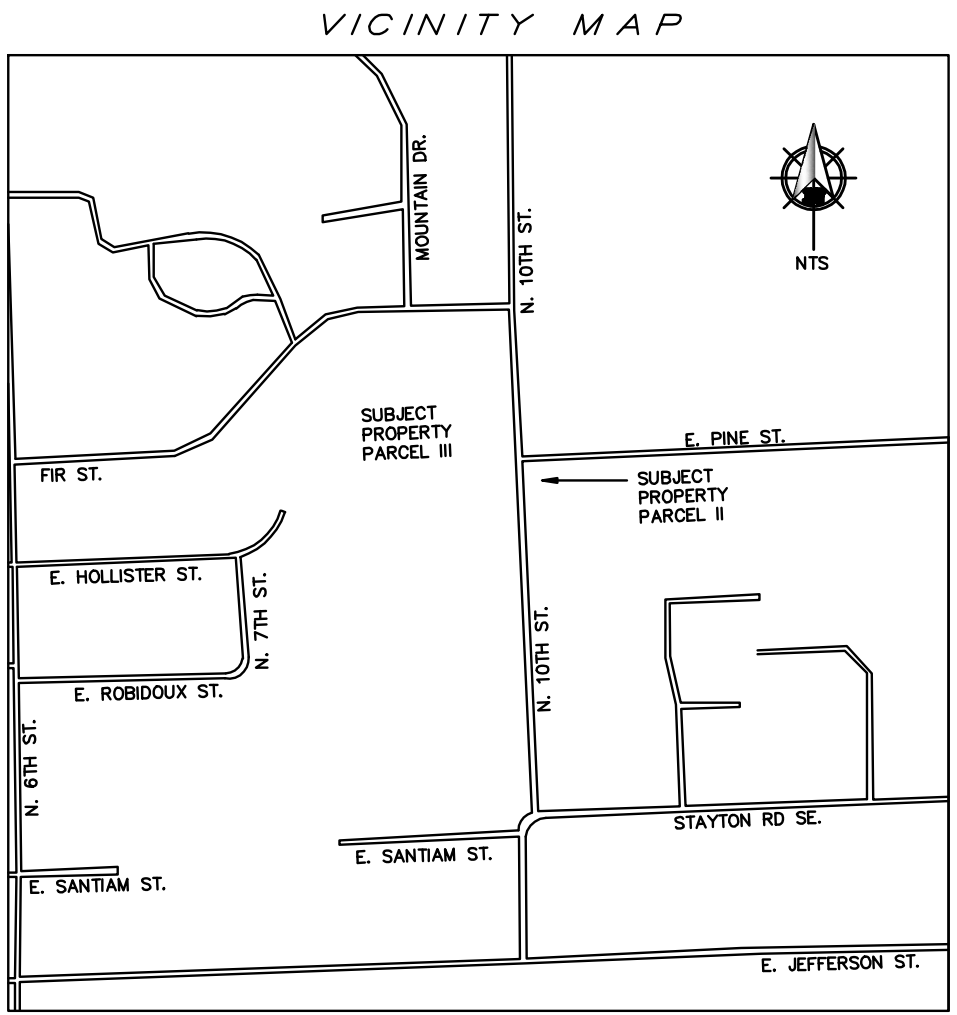
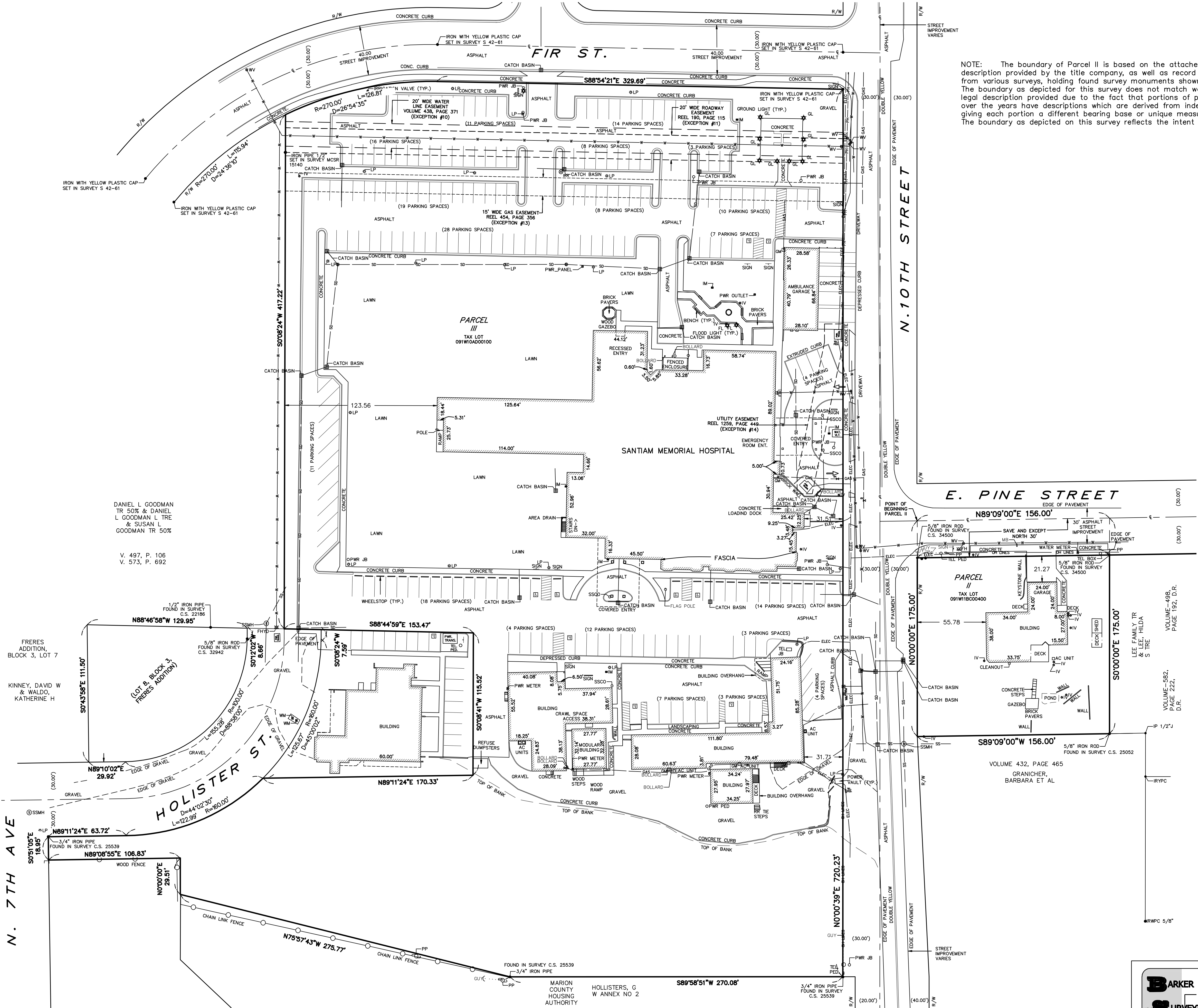
ALTA/ACSM LAND TITLE SURVEY

FHA PROJECT NO. 126-13008



0 20 40 80
(IN FEET)
1 inch = 40 ft.

NOTE: The boundary of Parcel II is based on the attached legal description provided by the title company, as well as record survey data from various surveys, holding found survey monuments shown on this map. The boundary as depicted for this survey does not match word for word the legal description provided due to the fact that portions of property acquired over the years have descriptions which are derived from independent surveys giving each portion a different bearing base or unique measured distance. The boundary as depicted on this survey reflects the intent of the deeds recorded.



REGISTERED
PROFESSIONAL
LAND SURVEYOR

Gregory L. Wilson
OREGON
JULY 19, 1994
GREGORY L. WILSON
2887
EXPIRATION DATE: 6/30/2012

SURVEY FOR SANTIAM MEMORIAL HOSPITAL

LOCATION: 1401 N. 10TH AVE. & 1208 E. PINE ST.

SE 1/4, NE 1/4 SECTION 10
T.9S., R.1W., W.M. CITY OF STAYTON
MARION COUNTY, OREGON

SCALE: 1" = 40'
DATE: 1/4/2010
REVISED: 10/27/2010
DRAWN BY: M.P.W.
BARKER SURVEYING
3657 KASHMIR WAY SE
SALEM, OREGON 97317
PHONE (503) 588-8800
FAX (503) 363-2469
EMAIL: INFO@BARKERWILSON.COM
SHEET 3 OF 6
JOB NUMBER: 91424

09 1W 10AD

09 1W 10AD
STAYTON



MARION COUNTY, OREGON
SE1/4 NE1/4 SEC10 T9S R1W W.M.
SCALE 1" = 100'

LEGEND

LINE TYPES

- | | |
|--------------------------|-----------------------|
| Taxlot Boundary | Historical Boundary |
| Road Right-of-Way | Easement |
| Railroad Right-of-Way | Railroad Centerline |
| Private Road ROW | Taxcode Line |
| Subdivision/Plat Bndry | Map Boundary |
| Waterline - Taxlot Bndry | Waterline - Non Bndry |

CORNER TYPES

- | | |
|-----------------------|----------------------------------|
| + 1/16TH Section Cor. | 1/4 Section Cor. |
| ⊙ DLC Corner | 16 15
Section Corner
21 22 |

NUMBERS

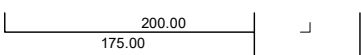
Tax Code Number
00 00 0

Acreage
0.25 AC

All acres listed are Net Acres, excluding any portions of the taxlot within public ROWs

NOTES

Tick Marks: A tick mark in the road indicates that the labeled dimension extends into the public ROW



CANCELLED NUMBERS

300
800
1700
1900
2000
2600
3200
4300
4400
4500
4600
4700
5000
5100

DISCLAIMER: THIS MAP WAS PREPARED
FOR ASSESSMENT PURPOSES ONLY

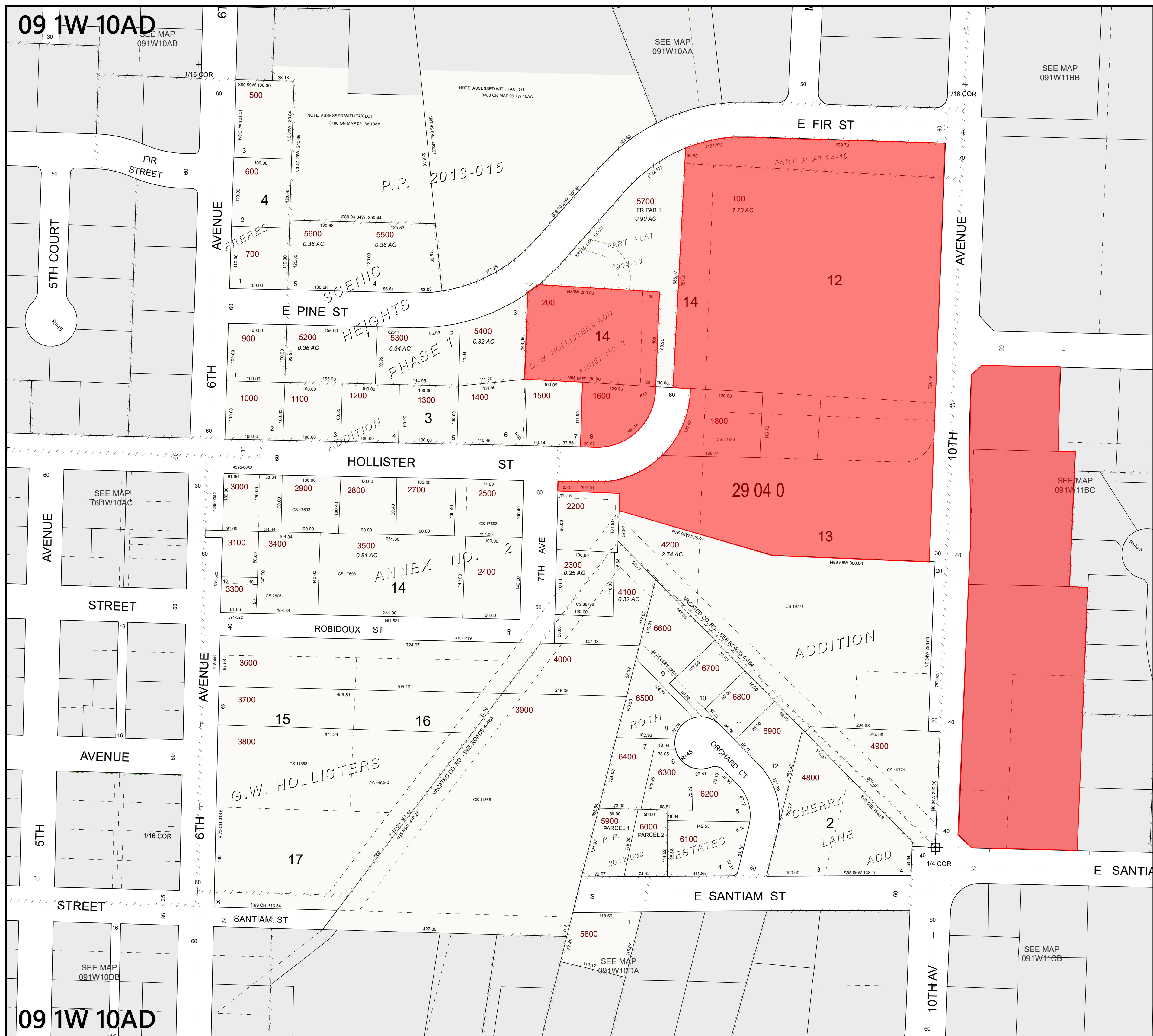


Assessors Office
Cartography Dept

FOR ADDITIONAL MAPS VISIT OUR WEBSITE AT
www.co.marion.or.us

PLOT DATE: 3/16/2021

STAYTON
09 1W 10AD





CITY OF STAYTON

APPLICATION FOR VARIANCE TO THE LAND USE AND DEVELOPMENT CODE

APPLICATION AND DECISION MAKING PROCEDURES

Prior to filing a variance application, you may wish to discuss your proposal with the City Planner. Staff will be happy to arrange an appointment when you can discuss your ideas and decide whether or not you wish to file an application. See contact information below.

1. APPLICATION FEE

Submission of an application form, fully completed and with attachments and payment of the application deposit is required before the review process begins. The application and deposit must be brought to Stayton City Hall during regular office hours. **The deposit for this application is \$2,000.** If the cost to the City does not reach the amount of the deposit paid, the excess deposit will be refunded to the applicant after the file is closed.

2. REVIEW FOR COMPLETENESS AND SCHEDULING A HEARING

The City Planner will review the submitted application for completeness and, within 30 days from the date of submittal determine if the applicant has provided all required information. If the application is incomplete, the City Planner will notify the applicant of the items which need to be submitted. Once the application is deemed complete, the Planner will schedule a hearing before the Stayton Planning Commission. Planning Commission meetings are regularly scheduled for the last Monday of the month.

3. STAFF REPORT

Once a hearing date is set, the City Planner will prepare a staff report summarizing the applicant's proposal, the decision criteria, comments from other agencies or the public, and address whether the application complies with code requirements or suggest conditions to meet those requirements. A copy of the staff report will be provided to the applicant 7 days prior to the public hearing.

4. PUBLIC HEARING BEFORE THE STAYTON PLANNING COMMISSION

Prior to the public hearing, notice is required to be sent to all property owners within 300 feet of the property 20 days before the hearing, so the hearing will be scheduled at the first regular meeting following the notice period. The hearing is to give all interested parties an opportunity to comment on the application. The hearing is conducted by the Chairperson in accordance with the Stayton Public Hearing Rules of Procedure. These rules are available at City Hall.

At the conclusion of the hearing and deliberation, the Planning Commission will adopt an order stating the decision criteria, findings of fact, conclusions whether the application meets any applicable standards and the Commission's decision. The Commission may decide to deny, approve, or approve the application with conditions.

5. PUBLIC HEARING BEFORE THE STAYTON CITY COUNCIL

An application may be called up by, or appealed to the City Council. If called up, the Council will also conduct a public hearing. If appealed, the Council will decide whether to hear the appeal and hold a public hearing. A notice is required 10 days prior to the hearing which will be held at the regular Council meeting, which meets the first and third Mondays of every month. Staff reports, Planning Commission findings, and any new information will be presented to Council for consideration. The purpose of the hearing is to receive further public testimony, to review the application and consider the Planning Commission's decision and conditions. Generally, the Council will make a decision at the conclusion of the hearing process, but may delay the decision for further information or action by the applicant. The Council will then adopt an order either approving or denying the application.

6. APPEALS

Council actions may be appealed to the State Land Use Board of Appeals pursuant to ORS 197.805 through 197.855.

7. FOR MORE INFORMATION

Call, write or stop in at City of Stayton, Community and Economic Development Dept., (mailing address) 362 N. Third Avenue, (building address) 311 N. Third Avenue, Stayton, Oregon 97383. (503) 769 2998, email: jsiciliano@staytonoregon.gov.

APPLICATION CHECKLIST FOR VARIANCE APPLICATIONS

A variance is an approved modification to, or relief from, a specific zoning or flood hazard regulation identified in the Stayton Municipal Code. An applicant may only seek a variance for the following items:

1. Land Use Requirements

- Lot area
- Lot width
- Percentage of lot coverage
- Height of structures
- Location of structures
- Setbacks
- Signs
- Parking and loading space
- Vision clearance
- Accessory uses
- Landscaping
- Expansion of non-conforming uses

2. Floodplain Hazard Requirements

This checklist has been prepared to assist applicants in submitting an application that includes all the submission requirements in Sections 17.12.200.4. Please note that this checklist may paraphrase the requirements from the Code. It is the applicant's responsibility to read and understand the requirements of the Code. Review of an application will not begin until a complete application has been submitted. If you have questions, contact the Planning Department.

- ☐ **Property Owner Authorization:** If the applicant is not the owner of the property, the application must include written indication of the applicant's right to file the application. This may be a purchase and sale agreement, an option or other document that gives the applicant some legal interest in the property. If the applicant is to be represented by another individual (planning consultant, engineer, attorney) the application must be accompanied by a notarized statement certifying that the applicant's representative has the authorization of the applicant(s) to file the application.
- ☐ **Three copies of a site plan at a scale of 1 inch equals not more than 50 feet and 6 reduced copies of the plan sized 11 inches by 17 inches with the following information included or accompanying the plan.**
 - The property for which the variance is requested and the surrounding properties.
 - Streets and roads around the property.
 - The existing use of the property and as appropriate, the condition to be varied.
 - North point, graphic scale, and date of preparation of the plan.
- ☐ **Narrative Statement:** A narrative statement which fully explains the request and addresses the criteria for approval of the variance.

Submission of all materials in an electronic version is encouraged.

BURDEN OF PROOF

This is a quasi-judicial application in which the applicant has the burden of proof. According to law, the applicant must present to the decision maker facts, evidence, analysis, and justification for each and every decisional criteria in order to carry out that burden of proof. It is important to remember that there is no assumption that the applicant is entitled to this approval. The burden of proof lies with the applicant to prove how the proposal complies with the land use ordinances, not with the City of Stayton.

Stayton Municipal Code Title 17, Land Use and Development, is available online at: www.staytonoregon.gov.
Click on the Document Center tab and select Municipal Code.



Submit Via Email

CITY OF STAYTON
APPLICATION FOR VARIANCE TO THE LAND USE AND DEVELOPMENT
CODE

PROPERTY OWNER: Santiam Hospital

Address: 610 Hawthorne Ave. S, STE 610

City/State/Zip: Salem, OR 97301

Phone: () - Email:

APPLICANT: Paul Hartmann, Director of Facilities

Address: 1401 N 10th Ave.

City/State/Zip: Stayton, OR 97383

Phone: (503) 769 -2175 Email: Phartmann@santiamhospital.org

APPLICANT'S REPRESENTATIVE: William Sloman

Address: 621 SW Alder St., STE 700

City/State/Zip: Portland, OR 97205

Phone: (503) 206 -3825 Email: willsloman@ckarch.com

CONSULTANTS: Please list below planning and engineering consultants, if any.

PLANNING

ENGINEERING

Name:

Name:

Address:

Address:

City/State/Zip:

City/State/Zip:

Phone: () -

Phone: () -

Email:

Email:

Select one of the above as the principal contact to whom correspondence from the Planning Department should be addressed:

☐ owner ☐ applicant ☒ applicant's representative ☐ planning consultant ☐ engineer

LOCATION:

Street Address: 1377 N 10th Ave.

Assessor's Tax Lot Number and Tax Map Number: 103914 - 091W10AD01800

Closest Intersecting Streets: Fir st.

ZONE MAP AND COMPREHENSIVE PLAN DESIGNATION: Commercial General

LAND USE AND DEVELOPMENT CODE SECTION FROM WHICH A VARIANCE IS SOUGHT: 17.20.060.7

DESCRIBE THE PROPOSED VARIANCE REQUEST: The proposed addition will not add any additional trips to the campus, additionally the hospital campus which the project is a part of has ample parking to accommodate the parking requirements of the project.

SIGNATURE OF APPLICANT: 

DO NOT WRITE BELOW THIS LINE

Application received by: _____ Date: _____ Fee Paid: \$ _____ Receipt No. _____

Land Use

File# _____

QUESTIONS TO BE ADDRESSED IN NARRATIVE STATEMENT

The Stayton Planning Commission, with assistance from the Community and Economic Development Department will use the information provided by the applicant to analyze the merits of this application. A decision to approve or deny the application is made based on how well the applicant presents information to show the application meets the standards and criteria set forth in the Stayton Land Use and Development Code 17.12.200.6. Please provide the following information in full and to this application.

1. How is the property for which the variance is requested subject to extraordinary or exceptional circumstances such as size, shape, topography or similar circumstances that do not generally apply to other properties in the same zoning district or in the vicinity?
2. How is the variance necessary for the reasonable preservation of a property right of the applicant which is the same as that enjoyed by other landowners in the zoning district?
3. How does the variance conform to the purposes of the zoning regulations and not create a significant adverse impact on other properties in the same zoning district or in the vicinity?
4. Does the requested variance create an identifiable conflict with the provisions of the Comprehensive Plan?
5. Why would granting the variance not have the same effect as a zone change on this property?
6. How is this variance the minimum relief available to alleviate the problem?
7. Why would granting this variance not have the effect of granting a special privilege not shared by other property in the same zoning district?
8. How is this request not a self-imposed condition as a result of an action taken by the applicant or a prior owner?



CITY OF STAYTON

APPLICATION FOR VARIANCE TO THE LAND USE AND DEVELOPMENT CODE

APPLICATION AND DECISION MAKING PROCEDURES

Prior to filing a variance application, you may wish to discuss your proposal with the City Planner. Staff will be happy to arrange an appointment when you can discuss your ideas and decide whether or not you wish to file an application. See contact information below.

1. APPLICATION FEE

Submission of an application form, fully completed and with attachments and payment of the application deposit is required before the review process begins. The application and deposit must be brought to Stayton City Hall during regular office hours. **The deposit for this application is \$2,000.** If the cost to the City does not reach the amount of the deposit paid, the excess deposit will be refunded to the applicant after the file is closed.

2. REVIEW FOR COMPLETENESS AND SCHEDULING A HEARING

The City Planner will review the submitted application for completeness and, within 30 days from the date of submittal determine if the applicant has provided all required information. If the application is incomplete, the City Planner will notify the applicant of the items which need to be submitted. Once the application is deemed complete, the Planner will schedule a hearing before the Stayton Planning Commission. Planning Commission meetings are regularly scheduled for the last Monday of the month.

3. STAFF REPORT

Once a hearing date is set, the City Planner will prepare a staff report summarizing the applicant's proposal, the decision criteria, comments from other agencies or the public, and address whether the application complies with code requirements or suggest conditions to meet those requirements. A copy of the staff report will be provided to the applicant 7 days prior to the public hearing.

4. PUBLIC HEARING BEFORE THE STAYTON PLANNING COMMISSION

Prior to the public hearing, notice is required to be sent to all property owners within 300 feet of the property 20 days before the hearing, so the hearing will be scheduled at the first regular meeting following the notice period. The hearing is to give all interested parties an opportunity to comment on the application. The hearing is conducted by the Chairperson in accordance with the Stayton Public Hearing Rules of Procedure. These rules are available at City Hall.

At the conclusion of the hearing and deliberation, the Planning Commission will adopt an order stating the decision criteria, findings of fact, conclusions whether the application meets any applicable standards and the Commission's decision. The Commission may decide to deny, approve, or approve the application with conditions.

5. PUBLIC HEARING BEFORE THE STAYTON CITY COUNCIL

An application may be called up by, or appealed to the City Council. If called up, the Council will also conduct a public hearing. If appealed, the Council will decide whether to hear the appeal and hold a public hearing. A notice is required 10 days prior to the hearing which will be held at the regular Council meeting, which meets the first and third Mondays of every month. Staff reports, Planning Commission findings, and any new information will be presented to Council for consideration. The purpose of the hearing is to receive further public testimony, to review the application and consider the Planning Commission's decision and conditions. Generally, the Council will make a decision at the conclusion of the hearing process, but may delay the decision for further information or action by the applicant. The Council will then adopt an order either approving or denying the application.

6. APPEALS

Council actions may be appealed to the State Land Use Board of Appeals pursuant to ORS 197.805 through 197.855.

7. FOR MORE INFORMATION

Call, write or stop in at City of Stayton, Community and Economic Development Dept., (mailing address) 362 N. Third Avenue, (building address) 311 N. Third Avenue, Stayton, Oregon 97383. (503) 769 2998, email: jsiciliano@staytonoregon.gov.

APPLICATION CHECKLIST FOR VARIANCE APPLICATIONS

A variance is an approved modification to, or relief from, a specific zoning or flood hazard regulation identified in the Stayton Municipal Code. An applicant may only seek a variance for the following items:

1. Land Use Requirements

- Lot area
- Lot width
- Percentage of lot coverage
- Height of structures
- Location of structures
- Setbacks
- Signs
- Parking and loading space
- Vision clearance
- Accessory uses
- Landscaping
- Expansion of non-conforming uses

2. Floodplain Hazard Requirements

This checklist has been prepared to assist applicants in submitting an application that includes all the submission requirements in Sections 17.12.200.4. Please note that this checklist may paraphrase the requirements from the Code. It is the applicant's responsibility to read and understand the requirements of the Code. Review of an application will not begin until a complete application has been submitted. If you have questions, contact the Planning Department.

- ☐ **Property Owner Authorization:** If the applicant is not the owner of the property, the application must include written indication of the applicant's right to file the application. This may be a purchase and sale agreement, an option or other document that gives the applicant some legal interest in the property. If the applicant is to be represented by another individual (planning consultant, engineer, attorney) the application must be accompanied by a notarized statement certifying that the applicant's representative has the authorization of the applicant(s) to file the application.
- ☐ **Three copies of a site plan at a scale of 1 inch equals not more than 50 feet and 6 reduced copies of the plan sized 11 inches by 17 inches with the following information included or accompanying the plan.**
 - The property for which the variance is requested and the surrounding properties.
 - Streets and roads around the property.
 - The existing use of the property and as appropriate, the condition to be varied.
 - North point, graphic scale, and date of preparation of the plan.
- ☐ **Narrative Statement:** A narrative statement which fully explains the request and addresses the criteria for approval of the variance.

Submission of all materials in an electronic version is encouraged.

BURDEN OF PROOF

This is a quasi-judicial application in which the applicant has the burden of proof. According to law, the applicant must present to the decision maker facts, evidence, analysis, and justification for each and every decisional criteria in order to carry out that burden of proof. It is important to remember that there is no assumption that the applicant is entitled to this approval. The burden of proof lies with the applicant to prove how the proposal complies with the land use ordinances, not with the City of Stayton.

Stayton Municipal Code Title 17, Land Use and Development, is available online at: www.staytonoregon.gov.
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Submit Via Email

CITY OF STAYTON
APPLICATION FOR VARIANCE TO THE LAND USE AND DEVELOPMENT
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Street Address: 1377 N 10th Ave.

Assessor's Tax Lot Number and Tax Map Number: 103914 - 091W10AD01800

Closest Intersecting Streets: Fir st.

ZONE MAP AND COMPREHENSIVE PLAN DESIGNATION: Commercial General

LAND USE AND DEVELOPMENT CODE SECTION FROM WHICH A VARIANCE IS SOUGHT: 17.20.060.9-A

DESCRIBE THE PROPOSED VARIANCE REQUEST: The population that this building serves is not conducive to riding a bicycle;
e.g. patients with bone and joint issues.

SIGNATURE OF APPLICANT: 

DO NOT WRITE BELOW THIS LINE

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LOCATION:

Street Address: 1377 N 10th Ave.

Assessor's Tax Lot Number and Tax Map Number: 103914 - 091W10AD01800

Closest Intersecting Streets: Fir st.

ZONE MAP AND COMPREHENSIVE PLAN DESIGNATION: Commercial General

LAND USE AND DEVELOPMENT CODE SECTION FROM WHICH A VARIANCE IS SOUGHT: 17.20.090

DESCRIBE THE PROPOSED VARIANCE REQUEST: This property is part of a larger campus that has enough landscaping to offset the requirements required by this property.

SIGNATURE OF APPLICANT: 

DO NOT WRITE BELOW THIS LINE

Application received by: _____ Date: _____ Fee Paid: \$ _____ Receipt No. _____

Land Use

File# _____

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